



Our intention is to have in-person meetings going forward. For the time being, we will hold the City Committee Meetings, Plan Commission, Council and most others at the Community Room at 933 Michigan Avenue. This in-person location will meet the legal requirement for our open meetings.

We will have a virtual option available, but the technology for the hybrid style meeting may not be reliable all of the time.

Members

- Mayor Wiza
- Alderperson Kneebone
- Commissioner Arntsen
- Commissioner Beacom
- Commissioner Miskowiak
- Commissioner Rice
- Commissioner Schuler

AGENDA

CITY PLAN COMMISSION

Date and Time:	August 5, 2024 6:00 PM	Location:	Community Room 933 Michigan Avenue, Stevens Point, WI
			<u>OR</u>
			<u>Zoom Teleconferencing</u>
			Meeting ID: 843 2135 5104 Passcode: 365317
			<u>By Computer:</u> https://us02web.zoom.us/j/84321355104?pwd=6U3Yf87ajHuOax3pQPBIKcCG6p
			<u>By Phone:</u> +1-312-626-6799 (US Chicago)

Opening Section:

1. Roll Call

Discussion and Possible Action on:

2. Report of the July 1, 2024 meeting of the City Plan Commission.
3. Public Hearing and action on a request from Zach Brocken, representing North Reserve Property Group, LLC, for a conditional use permit to construct more than one duplex on an unaddressed parcel bounded by Reserve Street North (Parcel ID 281240820140150), consistent with Ch. 23.01(14)(f) & Ch. 23.02(2)(a)(3)(d).
4. Public Hearing and action on a request from the City of Stevens Point to amend the Official Street Map of the City of Stevens Point. Said request establishes Evelyn Court, Joe Street, Leonard Street and Lost Creek Road within Lots 1-60 (Parcel ID 281240826400501-281240826400562) of Forest Creek Subdivision.

PLEASE TAKE NOTICE that any person who has special needs while attending these meetings or needs agenda materials for these meetings should contact the City Clerk as soon as possible to ensure that a reasonable accommodation can be made. The City Clerk can be reached by telephone at (715) 346-1569 or by mail at 1515 Strongs Avenue, Stevens Point, WI 54481.

Maps further defining the above area(s) may be obtained from the City of Stevens Point Department of Community Development, 1515 Strongs Avenue, Stevens Point, WI 54481, or by calling (715) 346-1567, during normal business hours.

PLEASE TAKE FURTHER NOTICE that a quorum of the Common Council may be in attendance at this meeting.

5. A request from Brett Gerber, representing Pointer Plaza, LLC, for a site plan review to construct a multiple-unit apartment building on the property located at 1800 Maria Drive (Parcel ID 281240829140022), consistent with Ch. 23.02(2)(f)(5)(b) & Ch. 23.02(4)(b)(1)(2).
6. A request from the City of Stevens Point to acquire the property located at 2517 Prais Street (Parcel ID 281240828301611).
7. Discussion on Eastside and Southeast neighborhood plans.
8. February - June 2024 Monthly Reports.
9. Director's Report.

Closing Section:

10. Adjourn



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Members

- Mayor Wiza
- Alderperson Kneebone
- Commissioner Arntsen
- Commissioner Beacom
- Commissioner Miskowiak
- Commissioner Rice
- Commissioner Schuler

MINUTES

CITY PLAN COMMISSION

Date and Time:	July 1, 2024 6:00 PM	Location:	Community Room 933 Michigan Avenue, Stevens Point, WI
			<u>OR</u> <u>Zoom Teleconferencing</u> Meeting ID: 863 5918 0554 Passcode: 373629 <u>By Computer:</u> https://us02web.zoom.us/j/86359180554?pwd=IDjfVmTv00bXn69pzQLbXg <u>By Phone:</u> +1-312-626-6799 (US Chicago)

Opening Section:

1. Roll Call

- Call to Order: 6:00PM
- Present: Mayor Wiza, Commissioners Arnsten, Beacom, Miskowiak, Rice, Alder Kneebone
- Excused: Commissioner Schuler

Discussion and Possible Action on:

2. Report of the June 3, 2024 meeting of the City Plan Commission.

- Motion: Arnsten moves approval of the report.
- Second: Rice seconds.
- Discussion: Kneebone requests absentees be clarified as excused if excused rather than absent. Kneebone and Rice were excused from June 3rd meeting of the City Plan Commission, not absent.
- Vote: Unanimous approval.

3. Public Hearing and action on a request from Norman Myers Jr, representing Point Paradise Family LP, for a conditional use permit to operate a non-owner-occupied tourist rooming house on the property located at 1316 Ellis Street (Parcel ID 281240832100711), consistent with Ch. 23.02(1)(f)(3)(i).

- Notes: Zoning Administrator Kuhn presents background information regarding the request and conditions that should be met in order to approve the request. Staff recommends approval subject to the conditions.
 - Rice asks which portion of the property is intended to be leased. Mayor Wiza clarifies that the rectory is being requested. Arnsten asks about the conditional use of the church as residential property; Kuhn responds. Beacom asks about outstanding orders on the church and if the church could be used as short term rental. Staff clarifies that any time the conditional use permit is expanded/modified, the applicant would need to come back before the Plan Commission; Staff confirms that the outstanding work order exists on other portions of the building. Kneebone requests clarification about the County Health requirements; staff answers the property would be required to meet County health requirements.
 - Public Hearing:
 - No comments submitted by the public.
 - Motion: Rice moves approval of the conditional use permit subject to the recommended conditions.
 - Second: Arnsten seconds.
 - Discussion: Arnsten asks if an additional condition can be placed on the permit that the outstanding work order be addressed. Staff clarifies that a precedent to hold permits based on work required on other aspects of the property is not set and may not be advantageous. Beacom asks if the county health requirements are identical to City requirements as it relates to number of occupants. Staff clarifies that they are not.
 - Vote: Unanimous approval.
4. Public Hearing and action on a request from Brett Gerber, representing Pointer Plaza, LLC, to amend the adopted conceptual plan for the planned development of the property located at 1800 Maria Drive (Parcel ID 281240829140022), consistent with Ch. 23.02(4)(b)(10).
- Notes: Zoning Administrator Kuhn presents background information regarding the origins of the project, the amended conceptual plan, and why the approval process is required.
 - Beacom requests information regarding the financial support required for the project; Director Kernosky clarifies that financial information of the project is not pertinent to the conceptual plan and request. Rice requests information why the lot does not extend to the street. Kuhn answers. Miskowiak requests information about addressing; Kuhn answers. Beacom asks for total amount of parking required for the two adjoining parcels; Kuhn clarifies that there is no requirement, but the total number of parking stalls results in 0.8 stalls per housing unit.
 - Public Hearing:
 - No comments submitted by the public.
 - Motion: Alder Kneebone moves approval of the amendment request subject to staff recommendations.

- Second: Arnsten seconds.
 - Discussion: Rice voices concern about long-term disputes about the parcel boundaries and if City staff has concerns; Kuhn answers there is no concern due to shared access agreement between the two parcels, Director Kernosky affirms there is a separate deed outlining this agreement. Miskowiak requests clarification on vehicular access; Kuhn gives an overview of all the access points and Director Kernosky points out the access agreements documented in the agenda packet. Miskowiak requests clarification on bicycle parking accommodations presented; Kuhn answers outlining bicycle parking standards.
 - Vote: Unanimous approval.
5. Public Hearing and action on a request from Brett Gerber, representing Pointer Plaza, LLC, for a conditional use permit to construct a multiple-unit apartment building on the property located at 1800 Maria Drive (Parcel ID 281240829140022), consistent with Ch. 23.02(2)(f)(5)(a).
- Notes: Zoning Administrator Kuhn presents background information regarding the conditional use permit request and the purpose of the request being solely the setback requirements due to the land use being allowed by right. Staff recommends approval with the included condition.
 - Public Hearing: No comments submitted by the public.
 - Motion: Rice moves approval of the request as presented.
 - Second: Miskowiak seconds.
 - Discussion: Arnsten requests clarification about the need of the setback being applicable to the parking stalls; Kuhn answers.
 - Vote: Unanimous approval.
6. A request from Brett Gerber, representing Pointer Plaza, LLC, for a site plan review to construct a multiple-unit apartment building on the property located at 1800 Maria Drive (Parcel ID 281240829140022), consistent with Ch. 23.02(2)(f)(5)(b) & Ch. 23.02(4)(b)(1)(2).
- Notes: Wiza
 - Miskowiak expresses desire to include additional bicycle parking accommodations in the site plan. Kuhn references zoning code requires bicycle parking based on number of vehicular parking stalls. Miskowiak requests more information regarding the proposed project. Applicant responds that the proposal is for a housing project that results in affordability of units based on various income levels within the community; applicant is willing to evaluate the request and maximize the number of bicycle parking stalls as space allows. Director Kernosky affirms that the commission has the authority to require additional bicycle parking accommodations. Applicant requests the ability to evaluate the space availability on the site prior to a condition being required.
 - Motion: Miskowiak moves to postpone the decision on the site plan until the developer can evaluate the capacity for bicycle parking on the site.

- Second: Beacom seconds the motion.
 - Discussion: Arnsten inquires if the commission can defer the bicycle parking condition to staff approval following the approval of the current site plan. Director Kernosky affirms that is possible, and requests that further discussion about other concerns be complete first.
 - Jacqui Guthrie, Alder of District 2, expresses appreciation for the bicycle parking requirements and requests that covered bicycle parking also be considered. Expresses concern for the ratio of single, double, and 3-bedroom apartments based on the need for affordable family units.
 - Ginger Keymer, Alder of District 3, asks if an alternative to outdoor bicycle parking could be indoor bicycle parking on the ground floor.
 - Applicant requests the ability to work with City staff and the development partner to meet the intent of the zoning ordinance; Administrator Kuhn affirms that deviations can be granted.
 - Vote: Unanimous approval of the motion to postpone approval of the site plan.
7. A request from the City of Stevens Point to acquire an unaddressed parcel bounded by State Highway 66 (Parcel ID 020240814-14.06).
- Notes: Director Kernosky presents background information regarding the request to acquire the parcel identified in the agenda to preserve the integrity of Well #11. Staff recommends approval as presented.
 - Motion: Beacom moves approval to recommend acquisition of the parcel.
 - Second: Arnsten seconds.
 - Discussion: Miskowiak asks if there is additional information regarding groundwater recharge rates. Staff answers and provides information about the wellhead protection zones.
 - Vote: Unanimous approval of the recommendation to acquire the parcel.
8. A request to acquire a portion of the property located at 215 Maple Bluff Road (Parcel ID 0206834).
- Notes: Director Kernosky provides background information regarding the request to acquire the property identified above. Staff recommends approval and recommendation to council as presented.
 - Motion: Miskowiak moves approval to recommend acquisition of the parcel.
 - Second: Kneebone seconds.
 - Discussion: Rice asks if there had been a reasonable alternative identified for the Evelyn Court right-of-way. Wiza responds. Kneebone references solutions to safety concerns utilized in other communities and the ability to implement a solution if needed.
 - Vote: Unanimous approval of the recommendation.

9. A request from the City of Stevens Point to enter into a distribution facilities installation easement with the Wisconsin Public Service Company for the property located at 2000 River View Avenue (Parcel ID 281230805410003).
 - Notes: Director Kernosky provides background information regarding the distribution facilities installation easement. Staff recommends approval and recommendation to council as presented.
 - Motion: Kneebone moves approval to recommend approval of the easement.
 - Second: Beacom seconds.
 - Discussion: None.
 - Vote: Unanimous approval.
10. A request from the City of Stevens Point to enter into an electric overhead and underground easement with the Wisconsin Public Service Corporation for the property located at 5498 Golla Road (Parcel ID 281240826400500).
 - Notes: Director Kernosky provides background information regarding the request. Staff recommends approval and recommendation to council as presented.
 - Motion: Rice moves approval to recommend approval of the easement.
 - Second: Beacom seconds.
 - Discussion: None.
 - Vote: Unanimous approval.
11. Director's Report.
 - Director Kernosky provides a report, including information regarding the recent subdivision plat, Residential Infill program, Shopko demolition, and Community Development Department staff changes. Informs commission that annual reporting is delayed due to staff capacity.

Closing Section:

12. Adjourn
 - Meeting adjourned at 7:04PM.

Administrative Staff Report

Construct Two Duplexes

Reserve Street North

August 5, 2024

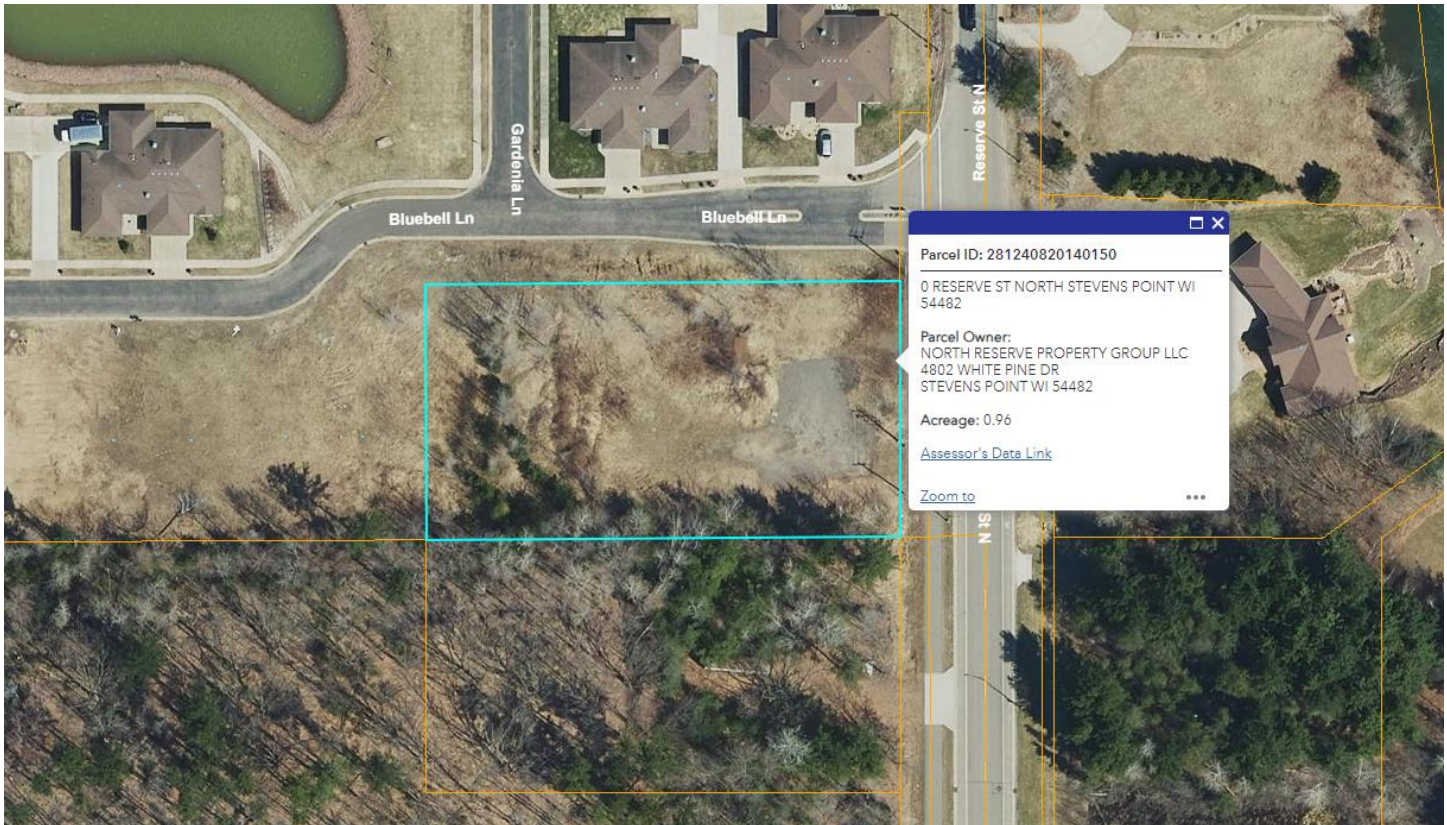


Department of Community
Development

Applicant(s): - Zach Brocken, representing North Reserve Property Group LLC Staff: - Adam Kuhn, Associate Planner akuhn@stevenspoint.com Parcel Number(s): 281240820140150 Zone(s): "B-4" Commercial Master Plan: - Multi-Family Residential Council District: - District 11 Ald. Morrow Lot Information: - Frontage: 150 ft. - Depth: 280 ft. - Lot Size: 41,948 sq. ft. (0.963 ac.) Current Use: - Undeveloped Applicable Regulations: 23.01(14)(f) 23.02(2)(a)(3)(d)	Request - Public Hearing and action on a request from Zach Brocken, representing North Reserve Property Group, LLC, for a conditional use permit to construct more than one duplex on an unaddressed parcel bounded by Reserve Street North (Parcel ID 281240820140150), consistent with Ch. 23.01(14)(f) & Ch. 23.02(2)(a)(3)(d). Attachment(s) - Application - Plans Findings of Fact - The applicant is requesting to construct two duplexes on the subject property. - Each unit is proposed to have 2,494 sq ft in floor area. - A shared driveway off of Reserve Street North is proposed to service the proposed development. - The subject property is zoned "B-4" Commercial. Within the "B-4" District, two-family residential uses are a conditional use. - No more than one main building can be situated on one zoning lot, except for when the Plan Commission approves the measure through a conditional use permit. - The Plan Commission and Common Council may attach additional conditions onto this request as necessary. Staff Recommendation Approve the request for a conditional use permit to construct more than one duplex on an unaddressed parcel bounded by Reserve Street North (Parcel ID 281240820140150), subject to the following conditions: - An erosion control permit shall be obtained prior to receiving a building permit. - A delineation of the subject property for wetlands shall occur. The report shall be reviewed and approved by City staff prior to receiving a building permit. - One additional fire hydrant shall be installed on the property, subject to the review and approval of the City Fire Marshal. - A turnaround area shall be constructed on the private driveway, subject to the review and approval of the City Fire Marshal.
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5. The proposed stone façade on the front elevation on each duplex shall also be located on the east elevation of Building #2.
6. A building permit shall be obtained prior to the start of construction.
7. Staff shall have the ability to approve minor amendments to the plan submittal.

Vicinity Map



Background

Overview: The applicant is requesting a conditional use permit to construct two duplexes near the southwest corner of Reserve Street North and Bluebell Lane. Each unit is proposed to have 2,494 square feet in floor area and would be serviced by a private driveway off of Reserve Street North. Each unit would have a covered patio, situated to the south. A detached garage, approximately 720 sq ft in size, is located towards the west end of the property.

The subject property is zoned “B-4” Commercial. Within the “B-4” Commercial District, two-family residential uses are a conditional use. Additionally, no more than one main building can be situated on one zoning lot, except for when the Plan Commission approves the measure through a conditional use permit. Said requirement is outlined below.

Ch. 23.01(14)

- (f) *More Than One Principal Building or Use on a Lot. Every building hereafter erected, converted, enlarged, or structurally altered shall be located on a zoning lot and there shall not be more than one main building on one zoning lot except that the Plan Commission may authorize more than*

one main building on one zoning lot if the proposal meets the conditional use standards contained in this ordinance.

Further development details have been provided below and are summarized throughout this report.

1. Setbacks.

The following are the setback requirements of the “B-4” Commercial District – 25’ of street setback, 5’ of side yard setback on each side and a rear yard setback of 10 feet. According to the submitted site plan, 47 feet of setback is provided off of the north lot line, 26 feet off of Reserve Street North, 49 feet off of the west lot line and 35 feet off of the south lot line.

Lot Line	B-4 District Minimum Setback Requirements	Proposed Setbacks (Findings)
<i>Street</i>	25 ft	25 ft
<i>Side</i>	5 ft	47 ft off of the north lot line; 35 ft off of the south lot line
<i>Rear</i>	10 ft	49 ft

2. Density.

Within the “B-4” District, each residential unit requires a lot size of 7,000 sq ft. As four housing units are proposed on a lot that 41,948 sq ft in size, the proposed development meets density requirements.

3. Parking and Traffic Flow.

A shared driveway approximately 16 feet in width is proposed to provide access for the proposed structures. As the development is not considered an apartment or mixed-use facility, it is not subject to vehicular and bicycle parking requirements as outlined in the City’s Zoning Code.

4. Utilities.

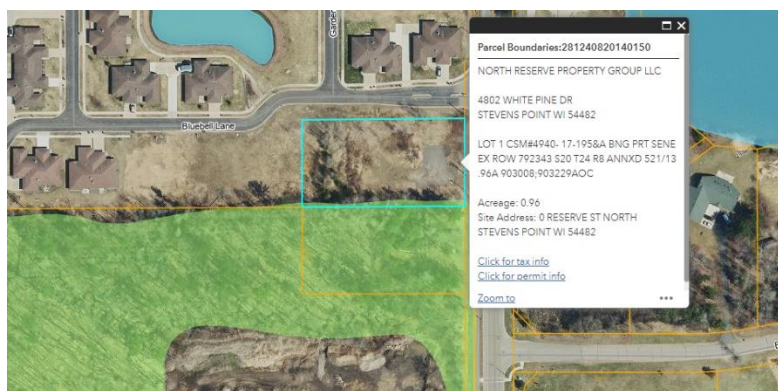
Utility connections exist off of Reserve Street North that can service the proposed development via the shared driveway.

5. Landscaping.

A landscaping plan has been submitted that proposes trees along Reserve Street and the private driveway, and a mixture of native grasses separating each driveway on the two duplexes.

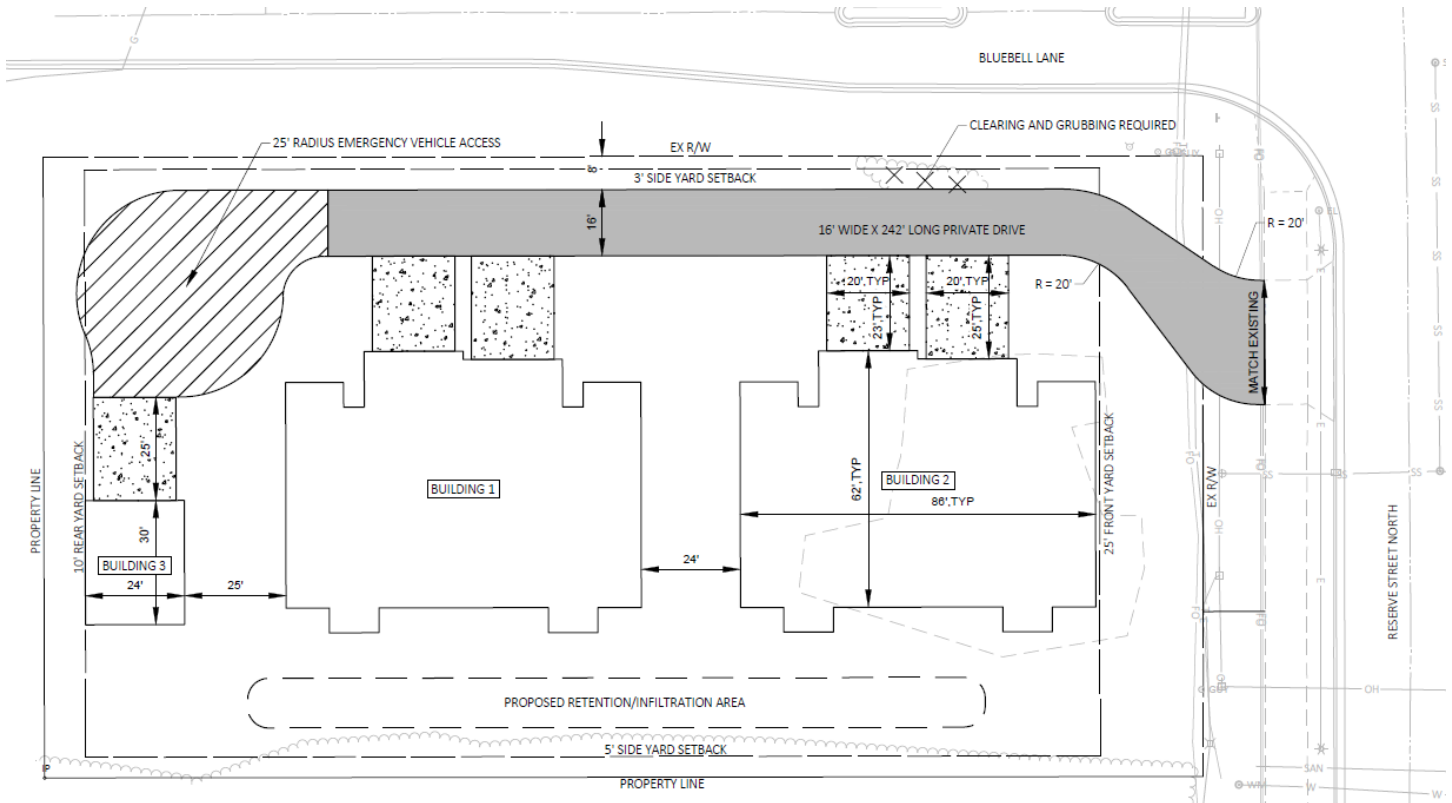
6. Environmental Considerations.

Per the Wisconsin DNR’s 2015 wetland inventory, confirmed wetlands hug and potentially encroaches beyond the south lot line into the subject parcel. Given the close proximity of the development to the south lot line, a wetland delineation of the subject property shall occur prior to being issued



Wetland Considerations

a building permit. City staff shall review the final report and recommend adjustments to the plan set, as necessary.



Proposed Site Plan

Standards of Review – Conditional Use Permit

1. The establishment, maintenance, or operation of the use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

Analysis: The proposed use is consistent with the City's Comprehensive Plan and the existing surrounding uses are unlikely to be negatively impacted by the proposed development. The subject property has a 'multi-family residential' land use designation. While each proposed structure would occupy two residential units, having four residential units would provide a campus-like development pattern that is consistent with multi-family residential complexes.

A range of single-family residential uses exist to the east along Eagle Summit, while a denser condominium development exists to the north (i.e., Harmony Village). Undevelopable land exists to the south of the property, situated north of Interstate 39.

Findings: The "B-4" Commercial District allows for two-family dwellings via a conditional use permit. Whereas this request seeks to allow more than one two-family home on the parcel, providing two-family uses on this parcel provides a gradual transition in land use intensity from north to south. Staff does not believe the proposed conditional use permit with the conditions outlined above would be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

2. The use will not be injurious to the use and for the purpose already permitted, nor substantially diminish and impair property values.

Analysis: Two-family residential uses are a conditional use within the “B-4” District. Constructing multiple two-family homes on the subject property would also require a conditional use permit.

Findings: Staff does not believe that this use is injurious to the use for the uses already permitted.

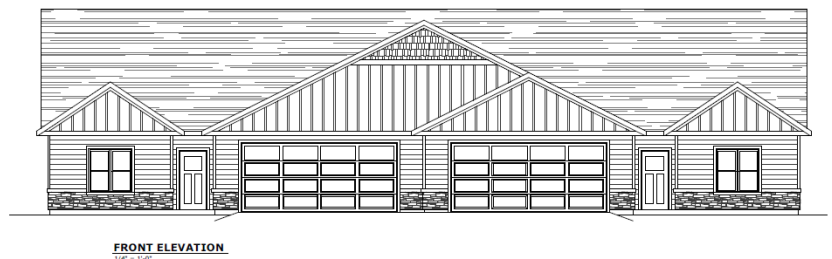
3. The establishment of the use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.

Analysis: The respective area is in an established and developed area of the city. The City’s Comprehensive Plan identifies this area for multi-family residential uses.

Findings: See standards one and two above. The applicant’s proposal will not impede on the normal and orderly development and improvement of the surrounding area.

4. The exterior architectural appeal and function plan of any proposed structure will not be variance with either the exterior architectural appeal and function plan, and scale of the structures already constructed or in the course of construction in the immediate neighborhood or in the character of the applicable district so as to result in a substantial or undue adverse effect on the neighborhood.

Analysis: The proposed structures are of a design compatible with other higher-density residential development in the city. A decorative stone façade is planned along the front elevation to provide aesthetic variation with siding enclosing the overhead doors. As a condition of approval, City staff are requesting that the same stone base is replicated along the east elevation of Building #2. The differences in roof pitch also creates a more uniform building height and better compliments similar residential development nearby.



Findings: This standard is met.

5. Adequate utilities, access roads, drainage and/or facilities have been, or are being, provided.

Analysis: A driveway apron exists off of Reserve Street North that will provide access to the proposed structures. Utilities exist within the Reserve Street North Right-of-Way that can service the proposed development. The area to the south of the proposed buildings is identified for drainage and stormwater controls.

Findings: Staff believes that the private driveway is constructed in a way that can support the proposed land use.

6. Adequate measures have been, or will be taken, to provide ingress and egress so designed to minimize traffic congestion in the public streets.

Analysis: The development will be serviced by a private driveway off of Reserve Street North. The private driveway will not cause any alignment issues with adjacent properties, nor will it cause significant issues with ingress and egress due to it utilizing an existing apron within the Reserve Street Right-of-Way.

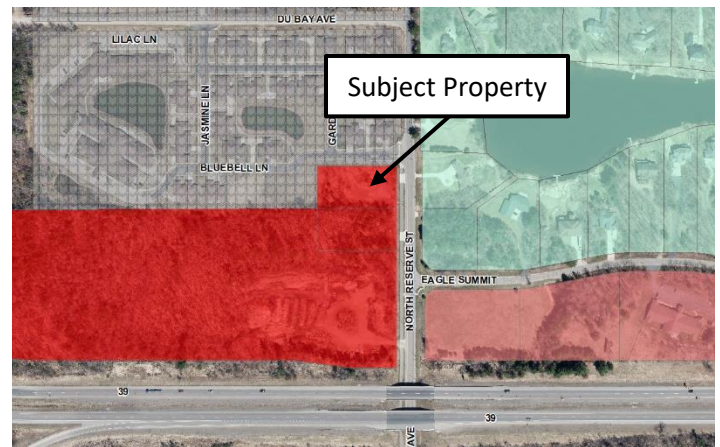
Findings: Based on the configuration of the proposed driveway, along with the low intensity of traffic expected, staff believes that this standard is met.

7. The proposed use is not contrary to the objectives of any duly adopted land use plan for the City of Stevens Point and any of its components.

Analysis: The City's 2005 Comprehensive Plan Future Land Use Map has identified this property for multi-family residential uses. The property is zoned "B-4" Commercial. According to the City's Zoning Code, the "B-4" District is established "to provide for retail, commercial, office, service and apartment uses in areas of good accessibility along arterial streets consistent with the City's Comprehensive Plan. This district is primarily intended to accommodate general commercial uses requiring on-site parking and arterial access."



Future Land Use



Findings: The proposed development is consistent with providing a higher-intensity residential land use and is located along a street that can handle the slight increase in traffic that would occur as a result of this development.

- 8. The use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.**

Analysis: The conditional use permit application is seeking to construct more than one principal building on a lot, which is subject to approval through conditional use. Additionally, having a two-family residential land use on the subject property is a component of this conditional use permit request. Key land use requirements outlined in the 'background' section above are met with the proposed development.

Findings: The regulations of the district are met for this proposal provided that the conditions tied to this request are fulfilled.

- 9. The proposal will not result in result in an over-concentration of high-density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective systems of the community.**

Analysis: Approximately four housing units will be created under this proposal. The proposed use is less dense than other residential uses within the near vicinity (e.g., Harmony Village).

Findings: Four additional housing units will not result in an over-concentration of high-density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective services systems of the community. This standard is met.

- 10. Principal – Applications for exclusive multi-family residential uses: The view from the street should maintain a residential character. The view should not be dominated by the building and not by garages, parking, mechanical equipment, garbage containers, or other storage.**

Analysis: Two duplexes are planned to be constructed on the lot. While the proposed use is not considered multi-family residential use, the view from Reserve Street North will be the side elevation of the second structure. Given the number of housing units proposed, garage and recycling collection will be handled by the City, negating the need for a separate trash enclosure for commercial collection.

Findings: This standard is met.

- 11. Access to the site shall be safe.**

Analysis: Vehicular access is proposed off Reserve Street North utilizing an existing driveway apron.

Findings: Staff believes that access is adequate.

- 12. There shall be adequate utilities to serve the site.**

- a. The Public Works Director, Police Chief and Fire Chief shall determine whether there is adequate sanitary sewer, portable water, storm drainage, street capacity, emergency access, public**

protection services, and other utilities to serve the proposed development. They shall review the plan to ensure safety and access for safety vehicles.

Analysis: The property has water and sewer connections up to the right-of-way. Appropriate water connections for the proposed development have been planned as part of the plan review.

Findings: This standard is met.

13. The privacy of the neighboring development and the proposed development shall be maintained as much as practical. Guidelines:

a. Mechanical equipment including refuse storage shall be screened from neighboring properties.

Analysis: Given the number of housing units proposed, garage and recycling collection will be handled by the City, negating the need for a separate trash enclosure for commercial collection.

Findings: This standard is met.

b. Lighting shall be located to minimize intrusion onto neighboring properties.

Analysis: Outside of light coming from the buildings, no additional lighting that impacts the surrounding neighborhood is proposed.

Findings: Lighting would be provided by the building.

c. Sources of noise shall be located in a manner that minimizes impact to neighboring properties.

Analysis: The use will be operating within the confines of the building and property.

Findings: The use should not create excessive noise.

14. Principal – Applications for exclusive multi-family residential uses. Landscaping shall be provided, or existing landscape elements shall be preserved to maintain a sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.

Analysis: A landscaping plan has been submitted that is consistent with the regulations of the Zoning Code to ensure a more harmonious residential development.

Findings: This standard is met.

Based on the findings above, staff would recommend approval of the conditional use permit with the conditions outlined on page one. Please keep in mind that recent State legislation has placed limitations on local jurisdictions regarding the denial of conditional use permits. Conditional use permits shall be reviewed by a means to permit a use under certain conditions applied to the use or property. For example, if a concern is raised regarding to a standard above, a condition can be applied to the permit to address the concern and grant the permit.

Site Photos





APPLICATION FOR A CONDITIONAL USE PERMIT

(Pre-Application Conference Required)

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted		Fee Required		Fee Paid	
Associated Applications if Any				Assigned Case Manager			
Pre-Application Conference Date				Conditional Use Permit Request	Use ☐	Amend ☐	

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? ☐)	
Applicant Name		Contact Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

OWNERSHIP INFORMATION

PROPERTY OWNER 1 INFORMATION (Same as Applicant? ☐)		PROPERTY OWNER 2 INFORMATION (If Needed)	
Owner's Name		Owner's Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
Legal Description of Subject Property		
Designated Future Land Use Category		Current Use of Property
Explain the land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)		
How will the proposed development reinforce the existing or planned character of the neighborhood? (Use additional pages if necessary)		

The surrounding neighborhood to the North and West are 55+ oriented developments with one, two and multi family dwellings. The neighborhood to the east are large lot, single family homes and B-4 commercial properties used as assisted living centers.

The proposed development will appeal to local professionals, families and 55+ community members seeking no maintenance obligations and high quality living standards.

Outline steps that will be taken to reduce any negative impacts on adjacent property. (Use additional pages if necessary)

Current Zoning Surrounding Subject Property

North:		South:	
East:		West:	

Current Land Use Surrounding Subject Property

North:		South:	
East:		West:	

EXHIBITS

Owner Information Sheet	☐	Additional Exhibits If Any:
Letter to District Alderperson	☐	
Maps (vicinity, zoning, floodplains, wetlands others as requested by staff)	☐	
Site Plan (designating primary, side, and service street frontages)	☐	
Building Elevations	☐	
Parking Plan (Location, number of spaces, reductions, and design and landscaping)	☐	
Street Plan with Cross-sections	☐	
Utility Plan	☐	
Landscape Plan (including any equivalent alternative landscaping requests)	☐	
Stormwater Plan	☐	
Outdoor Lighting Plan (location of fixtures, illumination levels)	☐	

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

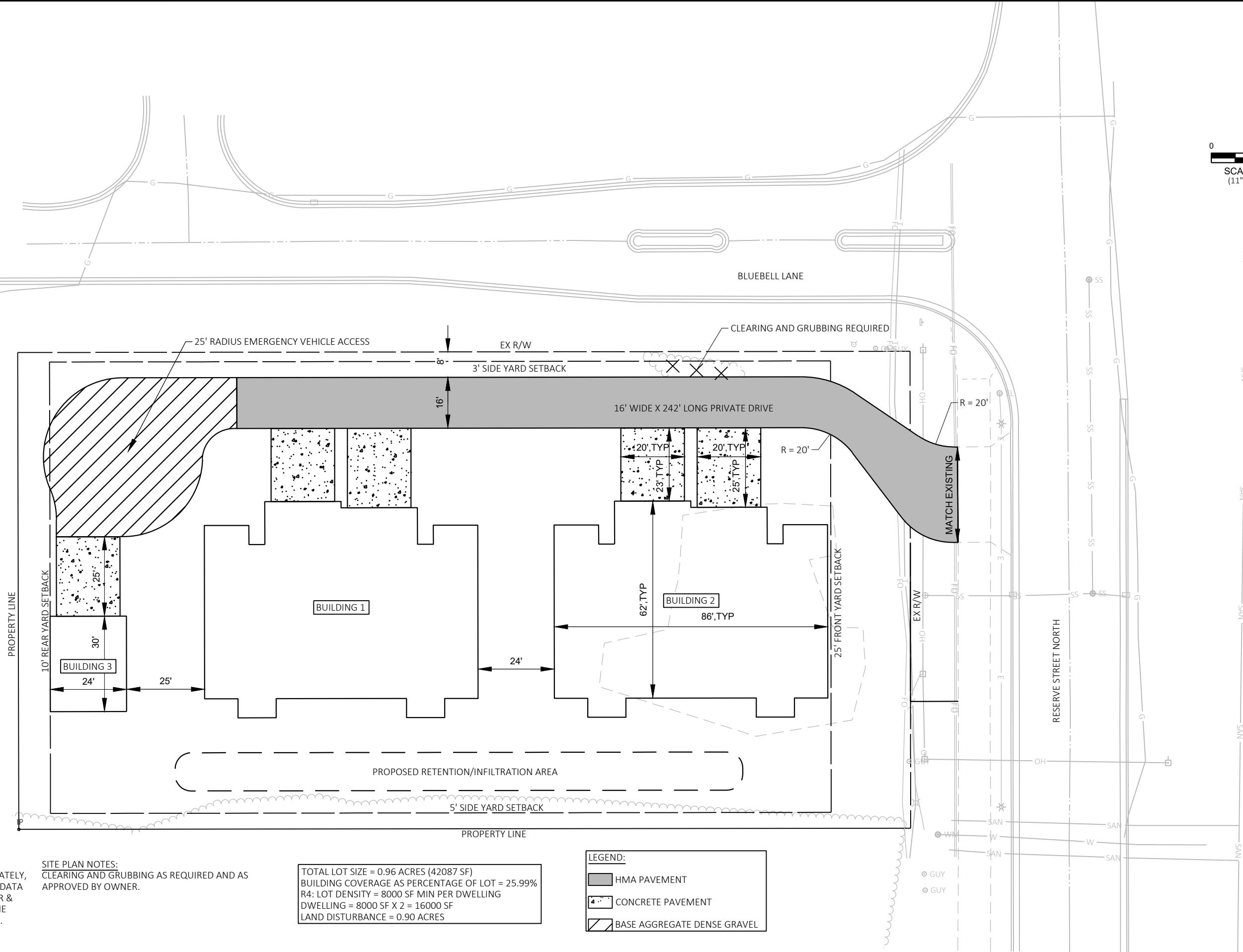
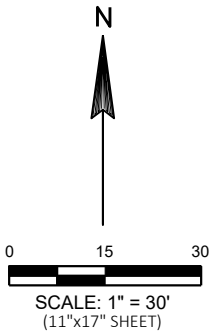
Signature of Applicant	Date	Signature of Property Owner(s)	Date
			

Adam Kuhn

From: noreply@civicplus.com
Sent: Thursday, July 11, 2024 1:57 PM
To: Adam Kuhn
Subject: Online Form Submittal: Contact Alderperson - District 11

Contact Alderperson - District 11

First and Last Name:	Zach Brocken
Street Address:	0 N Reserve St
City	Stevens Point
State:	WI
Zip:	54481
Phone Number:	715-570-8004
Email Address:	zbrocken1@gmail.com
Please enter your questions or comments below:	Good Afternoon, Since we last spoke my plan has pivoted for the development of 0 N Reserve St, Stevens Point WI. The plan is to construct two duplexes and a detached storage garage on the one acre site southwest of Bluebell Ln and North Reserve St. Each duplex will have two 2000SF units with three bedrooms, two baths and an attached garage. The duplexes will be finished above builder standard to have a luxury standard quality of living. Please let this email serve as a notice to the Alder for the pursuit of Plan Commission and City Council Approval. If you would like to see any additional documents, please email me at zbrocken1@gmail.com. Thank you! Zach Brocken



LEGAL SURVEY DATA:
EXISTING PROPERTY LINES SHOWN APPROXIMATELY,
BASED ON EXISTING FIELD MONUMENTS AND DATA
ON RECORD. PROVIDED BY OTHERS, GREMMER &
ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE
ACCURACY AND COMPLETENESS OF THE DATA.

SITE PLAN NOTES:
CLEARING AND GRUBBING AS REQUIRED AND AS
APPROVED BY OWNER.

TOTAL LOT SIZE = 0.96 ACRES (42087 SF)
BUILDING COVERAGE AS PERCENTAGE OF LOT = 25.99%
R4: LOT DENSITY = 8000 SF MIN PER DWELLING
DWELLING = 8000 SF X 2 = 16000 SF
LAND DISTURBANCE = 0.90 ACRES

LEGEND:	
	HMA PAVEMENT
	CONCRETE PAVEMENT
	BASE AGGREGATE DENSE GRAVEL

Revisions:	Job No: 230102.B	Designed: GAJTH Date: 5/1/2024	 GREMMER & ASSOCIATES, INC. Consulting Engineers Stevens Point • Fond du Lac (765) 546-4000 • Fax (765) 546-4000	OWNER NORTH RESERVE PROPERTY GROUP LLC 4802 WHITE PINE DRIVE STEVENS POINT, WI 54482	PROJECT NORTH RESERVE STREET BROCKEN DEVELOPMENT PROJECT CITY OF STEVENS POINT, PORTAGE COUNTY	PLAN SHEET PRELIMINARY SITE PLAN	1 3
	Scale: 1" = 30'	Drawn: GAJTH Date: 5/1/2024					
	PLOT DATE: 7/2/2024 11:16 AM	Checked: GADDK Date: 5/1/2024					

GRADING/DRAINAGE LEGEND:

GRADING/DRAINAGE FLOW DIRECTIONS

1131.28 EX PROPOSED SPOT ELEVATION

1133.95 EXISTING SPOT ELEVATION

FF = 1134 FINISHED FLOOR

1133 PROPOSED CONTOUR

1133 EXISTING CONTOUR

GRADING PLAN NOTES:

GRASS GRADES AT PROPOSED BUILDINGS ARE 4" BELOW FF.

ALL PROPOSED SPOT ELEVATIONS ARE TO FINISHED GRADE UNLESS NOTED OTHERWISE.

EROSION CONTROL KEYNOTES:

- 1 TRACKING PAD
- 2 TEMPORARY DITCH CHECK
- 3 SILT FENCE

EROSION CONTROL NOTES:

EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH LOCAL ORDINANCES, AND IMPLEMENTED AND CONSTRUCTED IN ACCORDANCE WITH WDNR CONSERVATION PRACTICE TECHNICAL STANDARDS. EROSION CONTROL ITEMS SHALL BE FIELD LOCATED AS NEEDED.

TRACKING PAD SHALL BE INSTALLED FOR ANY EQUIPMENT OPERATING ON SOIL BEFORE LEAVING THE SITE. TRACKING PAD SHALL FOLLOW WDNR TECHNICAL STANDARD 1057.

ALL AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE 4" (MIN.) TOPSOIL, SEED, FERTILIZER, AND MULCH. SEEDING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR SEEDING TECHNICAL STANDARDS 1059.

THE BOTTOM OF THE RETENTION/INFILTRATION AREAS SHALL RECEIVE 2" OF COMPOST DEEP TILLED TO A DEPTH OF 6".

INSTALL SILT FENCE IN AREAS WHERE ON-SITE SOILS AND STORMWATER MAY EXIT THE CONSTRUCTION SITE.

ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. FLUSHING SHALL NOT BE ALLOWED.

ALL TEMPORARY BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED.

FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR MORE THAN 7 WORKING DAYS, OR WHERE GRADING EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING, AND/OR MULCHING, EMAT, OR ANIONIC POLYACRYLAMIDE (PAM) AS A TEMPORARY BINDING AGENT.

EROSION CONTROL NOTES:

ALL DISTURBED AREAS SHALL BE TREATED WITH STABILIZATION MEASURES AS SPECIFIED WITHIN 3 WORKING DAYS OF FINAL GRADING.

ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF THE STABILIZATION MEASURE MUST BE REPAIRED AND THE STABILIZATION WORK REDONE. THE SITE WORK MUST DEMONSTRATE LONG-TERM EROSION STABILIZATION FROM VARIATIONS OF SEASONAL RAINFALL/RUNOFF CONDITIONS.

ALL SWALE LOCATIONS SHALL HAVE EROSION MAT CLASS II TYPE A DOWN FLOWLINE.

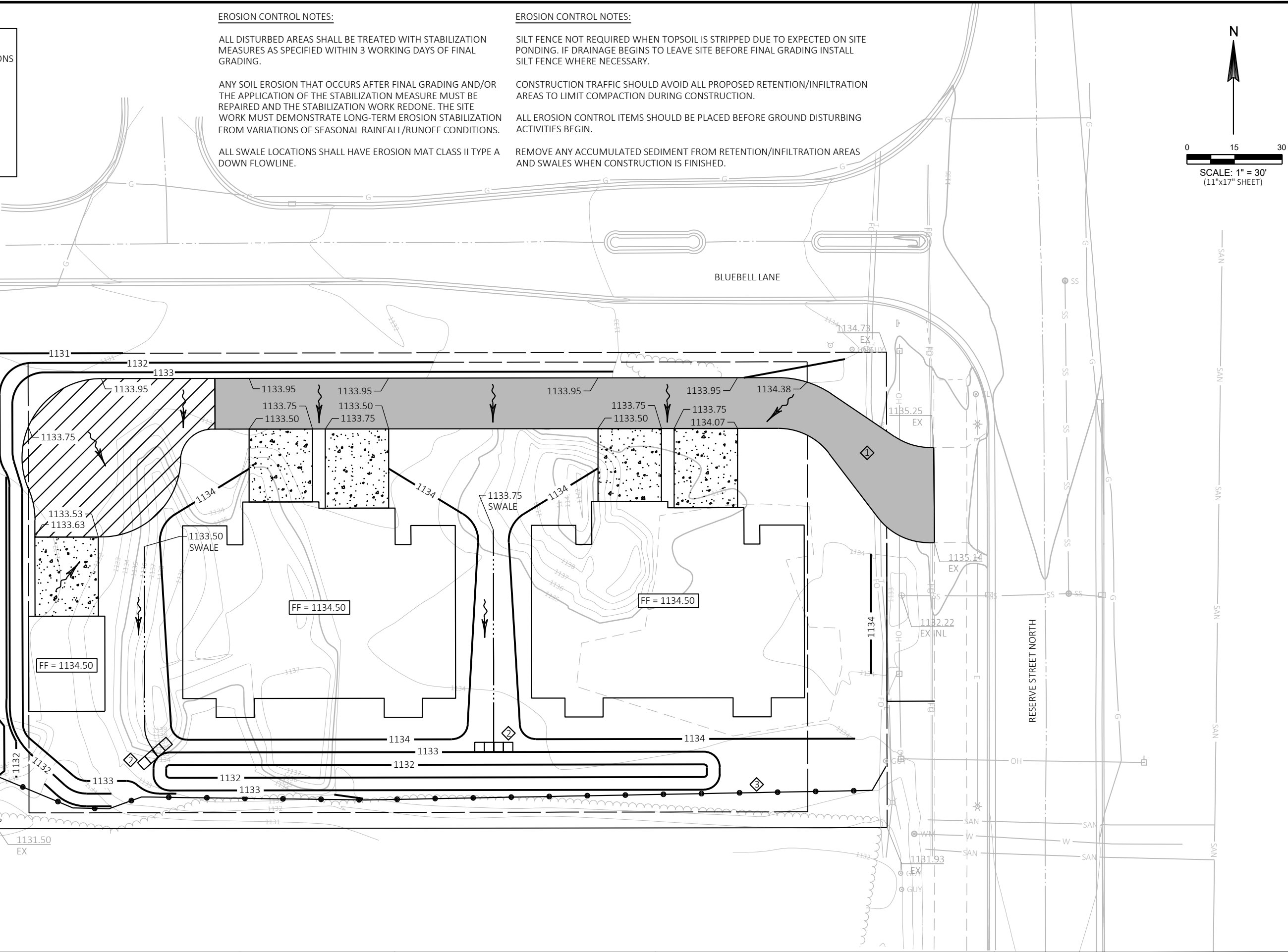
EROSION CONTROL NOTES:

SILT FENCE NOT REQUIRED WHEN TOPSOIL IS STRIPPED DUE TO EXPECTED ON SITE PONDING. IF DRAINAGE BEGINS TO LEAVE SITE BEFORE FINAL GRADING INSTALL SILT FENCE WHERE NECESSARY.

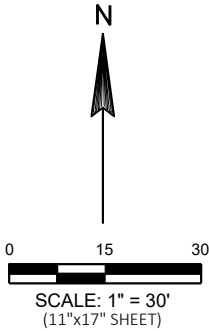
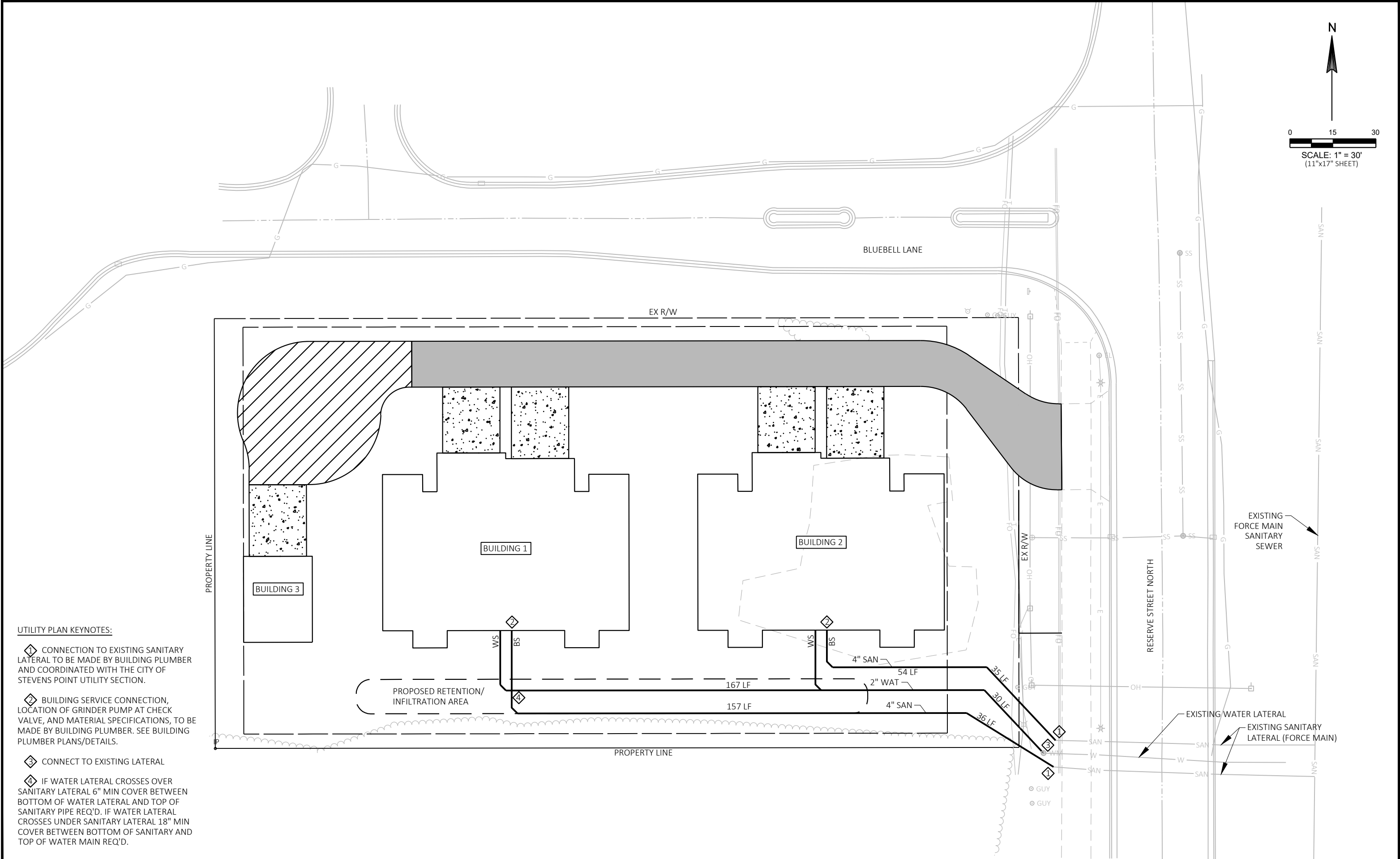
CONSTRUCTION TRAFFIC SHOULD AVOID ALL PROPOSED RETENTION/INFILTRATION AREAS TO LIMIT COMPACTION DURING CONSTRUCTION.

ALL EROSION CONTROL ITEMS SHOULD BE PLACED BEFORE GROUND DISTURBING ACTIVITIES BEGIN.

REMOVE ANY ACCUMULATED SEDIMENT FROM RETENTION/INFILTRATION AREAS AND SWALES WHEN CONSTRUCTION IS FINISHED.



Revisions:	Job No: 230102.B	Designed: GAJTH	Date: 5/1/2024	 120 White Pine Drive North • Stevens Point, WI 54482 (715) 546-4000 • Fax (715) 546-4000	OWNER	PROJECT	NORTH RESERVE STREET BROCKEN DEVELOPMENT PROJECT CITY OF STEVENS POINT, PORTAGE COUNTY	PLAN SHEET	PRELIMINARY GRADING / DRAINAGE / EROSION CONTROL PLAN	2 3
	Scale: 1"= 30'	Drawn: GAJTH	Date: 5/1/2024							
	PLOT DATE: 7/2/2024 11:16 AM	Checked: GADDK	Date: 5/1/2024							



UTILITY PLAN KEYNOTES:

- 1 CONNECTION TO EXISTING SANITARY LATERAL TO BE MADE BY BUILDING PLUMBER AND COORDINATED WITH THE CITY OF STEVENS POINT UTILITY SECTION.
- 2 BUILDING SERVICE CONNECTION, LOCATION OF GRINDER PUMP AT CHECK VALVE, AND MATERIAL SPECIFICATIONS, TO BE MADE BY BUILDING PLUMBER. SEE BUILDING PLUMBER PLANS/DETAILS.
- 3 CONNECT TO EXISTING LATERAL
- 4 IF WATER LATERAL CROSSES OVER SANITARY LATERAL 6" MIN COVER BETWEEN BOTTOM OF WATER LATERAL AND TOP OF SANITARY PIPE REQ'D. IF WATER LATERAL CROSSES UNDER SANITARY LATERAL 18" MIN COVER BETWEEN BOTTOM OF SANITARY AND TOP OF WATER MAIN REQ'D.

Revisions:	Job No: 230102.B	Designed: GAJTH	Date: 5/1/2024	 1201 White Pine Drive North • Stevens Point, WI 54482 (715) 546-4200 • Fax (715) 546-4205	OWNER	PROJECT	NORTH RESERVE STREET BROCKEN DEVELOPMENT PROJECT CITY OF STEVENS POINT, PORTAGE COUNTY	PLAN SHEET	PRELIMINARY UTILITY PLAN ALTERNATIVE 1	3 3
	Scale: 1"= 30'	Drawn: GAJTH	Date: 5/1/2024							
	PLOT DATE: 7/2/2024 11:16 AM	Checked: GADDK	Date: 5/1/2024							



FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"

BID PLAN - FOR BIDDING PURPOSES ONLY

DESIGNER: L. JOHNSON		COPYRIGHT © 2024		BID PLAN		06/18/2024		ITJ	
SCALE: 1/4" = 1'-0"		COMPARISON THESE BUILDING 3D PRINTS OF THE BUILDING SHALL BE THE ONLY BASIS FOR THE BIDDING OF THIS PROJECT. ANY CHANGES TO THE BUILDING SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE PLANS AND IN THE FUTURE.		A		A		A	
SHEET NO: A1		ALTHOUGH EVERY EFFORT WILL BE MADE BY THE ARCHITECT TO PROVIDE ALL INFORMATION, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE PLANS AND IN THE FUTURE.		A		A		A	
PROJECT NO: M24-173-M		ALL INFORMATION IS TO BE USED FOR BIDDING PURPOSES ONLY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE PLANS AND IN THE FUTURE.		A		A		A	
Drexel™ DrexelTeam.com		0.1 N RESERVE STREET, STEVENS POINT, WI 54481		A		A		A	
ZB APARTMENTS		DUPLEX		A		A		A	



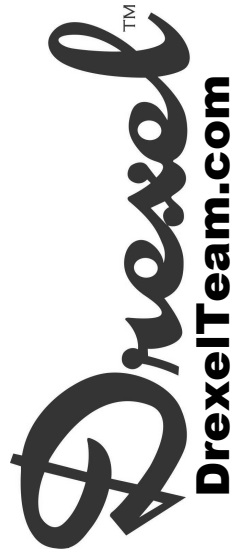
REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

BID PLAN - FOR BIDDING PURPOSES ONLY

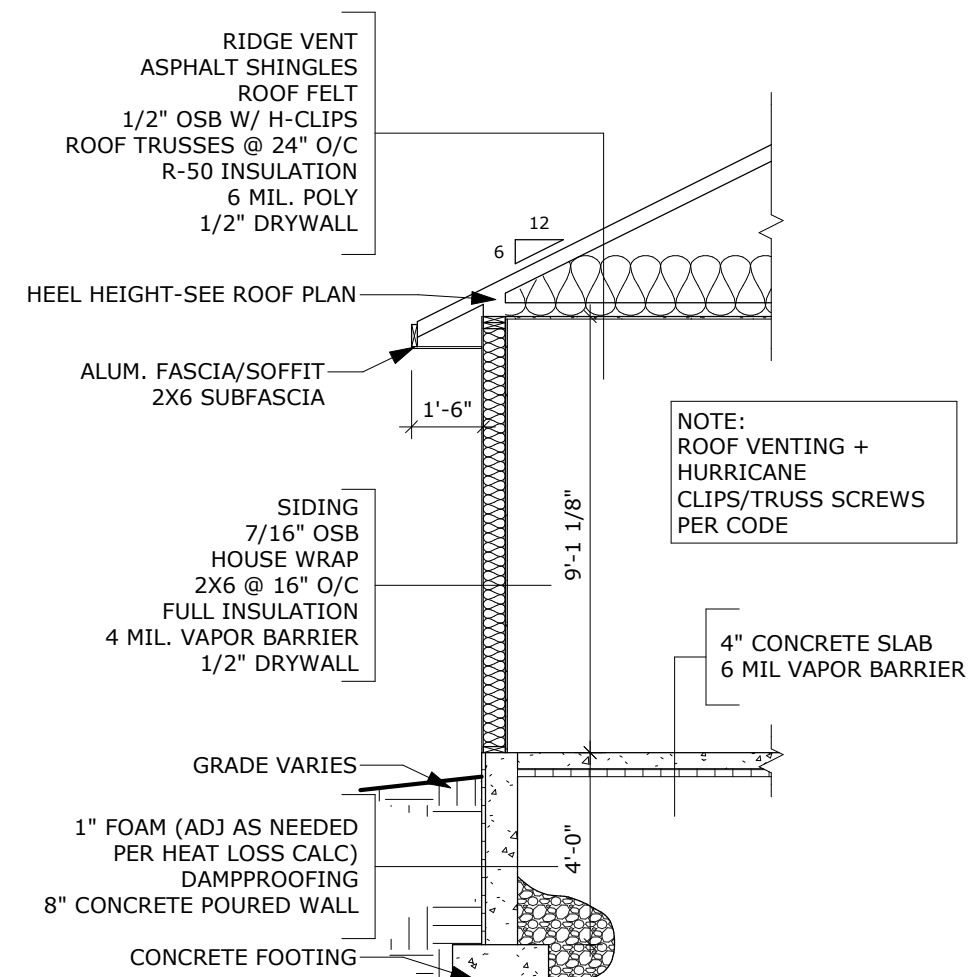
DESIGNER: J. JOHNSON		COPYRIGHT © 2024		BID PLAN		06/18/2024		ITJ	
SCALE: 1/4" = 1'-0"		CONTRACTOR: DREXEL TEAM, INC.		A		A		A	
SHEET NO: A2		THIS DRAWING IS THE PROPERTY OF DREXEL TEAM, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF DREXEL TEAM, INC.		A		A		A	
PROJECT NO: M24-173-M		ALTHOUGH EVERY EFFORT WILL BE MADE BY DREXEL TEAM, INC. TO PROVIDE ACCURATE INFORMATION, THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL INFORMATION AND FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.		A		A		A	
		DREXEL TEAM, INC. 10 N RESERVE STREET, STEVENS POINT, WI 54481		A		A		A	
		ZB APARTMENTS		A		A		A	
		DUPLEX		A		A		A	





LEFT FIRST FLOOR AREA	1908 SF
<u>TOTAL AREA</u>	<u>1908 SF</u>
LEFT GARAGE FLOOR AREA	538 SF

RIGHT FIRST FLOOR AREA	1908 SF
<u>TOTAL AREA</u>	<u>1908 SF</u>
RIGHT GARAGE FLOOR AREA	586 SF



TYPICAL WALL SECTION

FOUNDATION INFORMATION

HOUSE FOUNDATION
6" x 4'-0" POURED CONCRETE WALL

*** GARAGE FOUNDATION**
6" x 4'-0" POURED CONCRETE WALL

*** PORCH/PATIO FOUNDATION (UNEXCAVATED)**
4" x 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)

*** WALL THICKNESS FOR REPRESENTATION ONLY-**
MASON/CONTRACTOR TO VERIFY

*** FINAL WALL/POUT FOOTING SIZE AND DEPTH**
DETERMINED BY CONTRACTOR

*** MASON TO LOCATE PLINTERS AND SIZE FOOTINGS PER**
CODE AND SOIL CONDITIONS

*** BEARING WALLS TO BE SET IN CONCRETE WALL- MAKE**
R.O. 3" BIGGER IN WIDTH AND HEIGHT

*** BEARING WALLS TO SIT ON MIN. 16" x 8" CONCT.**
*** CONCRETE FOOTINGS TO BE 16" O.C.**

WALL INFORMATION

*** STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)**

*** HOUSE EXTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 6 x 9' 1/8"
(UNLESS NOTED/SHOWN OTHERWISE)

*** HOUSE INTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1/8"
(UNLESS NOTED/SHOWN OTHERWISE)

*** GARAGE**
WALL HEIGHT: 2 x 4 x 9' 1/8"
(UNLESS NOTED/SHOWN OTHERWISE)

- **N/A CONCRETE SLAB**
- **FIRST FLOOR**
 - 4" CONCRETE SLAB
 - STANDARD LOADING (PER SQ. FT.)
 - 40" LL 15° SL
 - ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
 - 10" DC FOR TILE FLOOR
 - 13" DC FOR GYPCRETE (1.5" THICK)
 - 20" DC FOR FIREPLACE FACE/HEARTH
 - 25" DC FOR GRANITE/QUARTZ
 - DEFLECTION: LL = /480, TL = /360
 - DURATION OF LOAD: 1.00%
- **ROOF SYSTEMS**
- **ENGINEERED WOOD TRUSSES @24" O.C.**
 - DESIGNED FOR: ZONE 2
 - STD. LOADING (PER SQ. FT.)
 - 30# TCCL, 10# TCCL, 10# 8CDL
 - DEFLECTION: LL = /240, TL = /180
 - DURATION OF LOAD: 1.15%

HEADERS

- STANDARD HEADER
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2x10'S
HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR
OFF-SITE CONSTRUCTION)
- TOP OF WINDOW R.O.S.
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
(UNLESS NOTED/SHOWN OTHERWISE)
- MINIMUM OF (2) SHOULDER STUDS AT EACH END
FOR ALL OPENINGS 6'-0" AND LARGER

GENERAL INFORMATION

- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS NOTED OTHERWISE)
 - 2X6 WALLS= 15" 2X4 WALLS= 3 1/2"
- ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION WALLS/BRICK LEDGES
- GENERAL CONTRACTOR TO LOCATE THE FOLLOWING ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
 - FLOOR DRAINS, ELECTRIC SERVICES, WATER HEATER, SUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT, WINDOWS, ETC.
- ACTUAL STEPS IN FOUNDATION WALLS AND LOCATION OF WINDOW LEDGES TO BE DETERMINED ON-SITE BY GENERAL CONTRACTOR
- DECK FRAMING SPECIFICATION TO MEET OR EXCEED REQUIREMENTS DEFINED WITHIN "APPENDIX B" OF THE W1
- ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF CABINETS, APPLIANCES, AND WINDOWS
- ALL COUNTER HEIGHTS ARE 6-8" UNLESS NOTED/SHOWN OTHERWISE

[illegible]

BID PLAN - FOR BIDDING PURPOSES ONLY



NEW HOME PLAN SPECIFICATIONS

FOUNDATION INFORMATION

- **HOUSE FOUNDATION**
6" 4'-0" POURED CONCRETE WALL
- **GARAGE FOUNDATION**
6" 4'-0" POURED CONCRETE WALL
- **PORCH/PATIO FOUNDATION (UNEXCAVATED)**
6" 4'-0" POURED CONCRETE WALL (MIN. 4'-0" TALL)
- WALL THICKNESS FOR REPRESENTATION ONLY-
MASONRY/CONTRACTOR TO VARY
- FINAL WALL/POOT FOOTING SIZE AND DEPTH
DETERMINED BY CONTRACTOR
- FOUNDATION WALLS TO BE 16" X 8" CANT.
CONE AND SOIL CONDITIONS
- WINDOWS/DOORS TO BE SET IN CONCRETE WALL- MAKE
R.O. 3" BIGGER IN WIDTH AND HEIGHT
- BEARING WALLS TO SET ON MIN. 16" X 8" CANT.
CONCRETE FOOTINGS, STUDS @ 16" O.C.

WALL INFORMATION

- STUDS @ 16" O.C. (UNLESS NOTED/SHOWN OTHERWISE)
- **HOUSE EXTERIOR**
FIRE FLOOR WALL HEIGHT: 2 x 6 x 9' 1 1/8"
(UNLESS NOTED/SHOWN OTHERWISE)
- **HOUSE INTERIOR**
FIRST FLOOR WALL HEIGHT: 2 x 4 x 9' 1 1/8"
(UNLESS NOTED/SHOWN OTHERWISE)
- **GARAGE**
WALL HEIGHT: 2 x 4 x 9'-1 1/8"
(UNLESS NOTED/SHOWN OTHERWISE)

FLOOR SYSTEMS

- **BASEMENT**
N/A CONCRETE SLAB
- **FIRST FLOOR**
4" CONCRETE SLAB
- STANDARD LOADING (PER SQ. FT.)
40' LL, 15' DL
- ADDITIONAL LOADING (PER SQ. FT.) (WHEN APPLICABLE)
10' DL FOR FLOOR TIE FLOOR
23' FOR GYPSUM, 1 (1.5" THICK)
10' DL FOR FIREPLACE FACE/HEARTH
25' DL FOR GRANITE/QUARTZ
- DEFLECTION: LL=L/480, TL=L/360
- DURATION OF LOAD: 1.00%

ROOF SYSTEMS

- ENGINEERED WOOD TRUSSES @ 24" O.C.
DESIGNED FOR: ZONE 2
- STD. LOADING (PER SQ. FT.)
30" TCL, 104' TLD, 10# BCDL
- DEFLECTION: LL=L/240, TL=L/180
- DURATION OF LOAD: 1.15%

HEADERS

- STANDARD HEADER
ALL HEADERS NOT LABELED AS LVL TO BE MIN. (2) 2x10'S
HEADER FOR ON-SITE (UNLESS VALUE ENGINEERED FOR
FIELD-SPICE CONSTRUCTION)
- TOP OF WINDOW R.O.S
FIRST FLOOR @ 6'-11 3/8" ABOVE SUBFLOOR
(UNLESS NOTED/SHOWN OTHERWISE)
- MINIMUM OF (2) SHOULDER STUDS AT EACH END
FOR ALL OPENINGS AND LARGER

GENERAL INFORMATION

- ALL DIMENSIONS ARE TO THE ROUGH STUD (UNLESS
NOTED OTHERWISE)
- 2X6 WALLS=5 1/2", 2X4 WALLS 3 1/2"
- ALL DIMENSIONS ARE TO OUTSIDE OF FOUNDATION
WALLS/BRICK LEDGES
- GENERAL CONTRACTOR TO LOCATE THE FOLLOWING
ITEMS IN THE FOUNDATION (WHEN APPLICABLE)
SEWER, ELECTRIC, GAS, WATER, WATER HEATER,
PUMP PIT + PUMP, FURNACE, GAS/LP LINE, BASEMENT,
WINDOWS, ETC.
- ALL DIMENSIONS IN FOUNDATION WALLS AND LOCATION OF
WINDOW WALLS TO BE DETERMINED ON SITE BY GENERAL
CONTRACTOR
- DECK FRAMING SPECIFICATION TO MEET OR EXCEED
SUBSTITUTES DEFINED WITHIN "APPENDIX B" OF THE W1
UNIFORM DWELLING
- ALL CABINET LAYOUTS ARE CONCEPTUAL-CONSULT
CABINET DESIGNER FOR EXACT SIZES AND LOCATIONS OF
CABINETS AND APPLIANCES
- ALL DOOR HEIGHTS ARE 6'-8" UNLESS NOTED/SHOWN
OTHERWISE

DESIGNER: I. JOHNSON	 drexelteam.com		DUPLEX ZB APARTMENTS		COPYRIGHT © 2024 COPYRIGHT DREXEL BUILDING SUPPLY, IT IS REPRODUCED BY ANY MEANS ALL OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF DREXEL BUILDING SUPPLY, INC. ALL RIGHTS ARE RESERVED. NO PART OF THIS PUBLICATION MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION SYSTEMS WITHOUT PERMISSION IN WRITING FROM DREXEL BUILDING SUPPLY, INC.	BID PLAN	06/18/2024	T3
SCALE: 1/4" = 1'-0" SHEET NO.: A5	PROJECT NO.: M24-173-M							

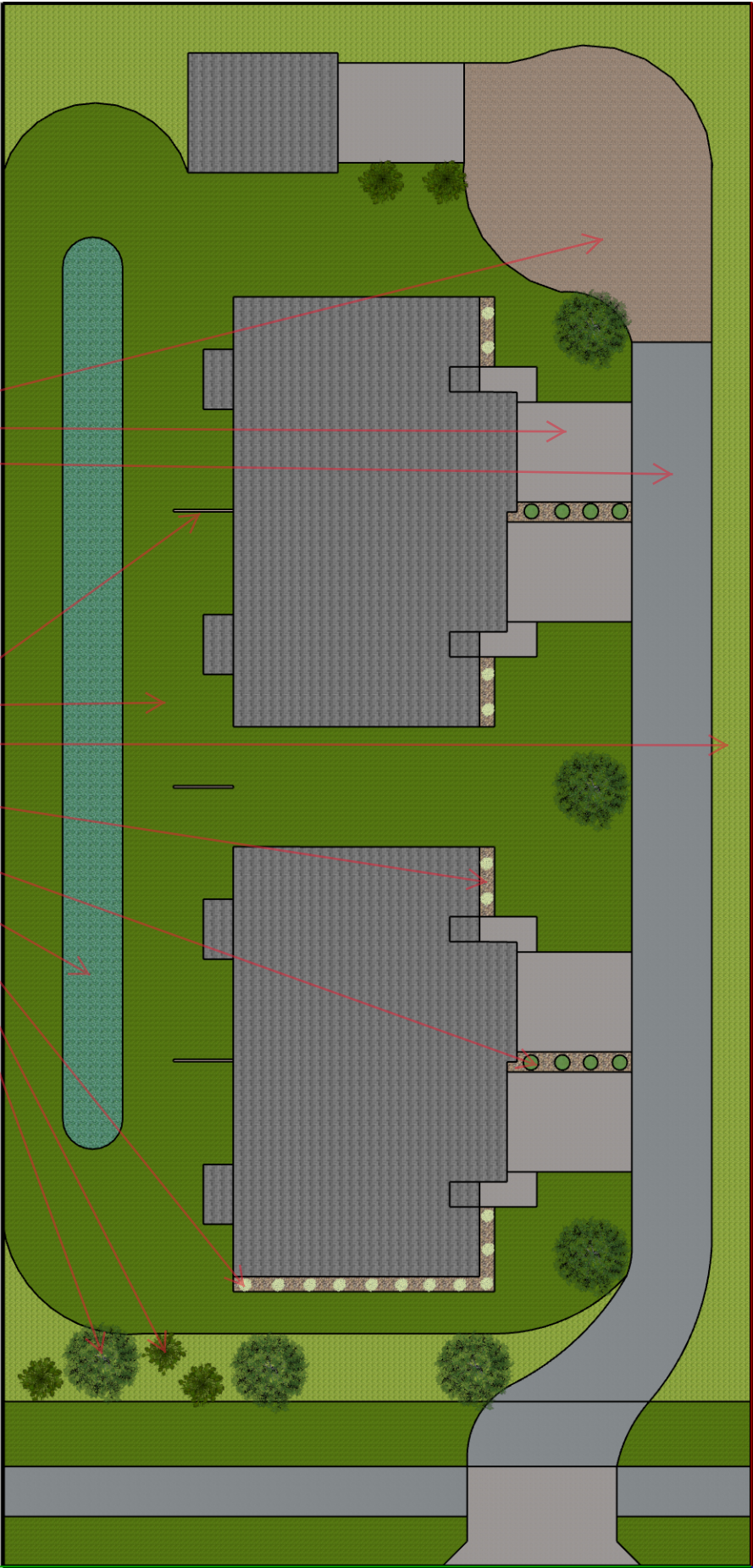
LANDSCAPE MASTER PLAN

0 N RESERVE ST
STEVENS POINT WI 54481

PREPARED FOR:
ZACH BROCKEN

CRUSHED RED GRANITE
POURED CONCRETE
ASPHALT

6FT BY 12FT PANEL FENCE
FINE FESCUE GRASS
UPLAND PRAIRIE HIGH MIX
HARD EDGE LANDSCAPE
AND APACHE BROWN
ROCK BED
SWITCHGRASS CLUSTER X8
LOWLAND HIGH PRAIRIE
MIX
HOLLY SHRUB X17
WHITE SPRUCE X5
RED MAPLE X6





MEMORANDUM

To: Plan Commission

From: Adam Kuhn, AICP
Associate Planner / Zoning Administrator

Date: August 5, 2024

RE: Official Street Map Amendment – Forest Creek Subdivision

Background: Earlier this year, the Common Council formally approved the final plat for Forest Creek Subdivision. As Commissioners recall, the approved subdivision would be serviced both by existing and new roads – the new roads being an extension of Evelyn Court, Joe Street and Leonard Street, and a new road named Lost Creek Road.

Section 3.5 [pages 59-62] of the [City's 2005 Comprehensive Plan](#) outlines the creation of "an Official Street Map which establishes appropriate street connections and extensions to adequately serve future Stevens Point development." As the City's Official Street Map is a policy of the Comprehensive Plan to be implemented, any amendment or revision thereof would be subject to the standards and considerations for plan amendments as outlined in Section 9.3(B)(4) [pages 181-183] of the City's Comprehensive Plan. Such standards and considerations are outlined below.

1. Internal Consistency. Amendments shall be made so as to preserve the internal consistency of the entire Comprehensive Plan.

Analysis: In June 2024, the Common Council approved the final subdivision plat for Forest Creek Subdivision. The subdivision plat acknowledged Evelyn Court, Joe Street, Leonard Street and Lost Creek Road as the planned streets to provide access to the 60 lots.

Findings: Although the Official Street Map is one of the most important pieces in outlining where planned future streets are to be located, other factors within the Comprehensive Plan need to be taken into consideration. By amending the Official Street Map, it is providing additional areas of street access to

www.stevenspoint.com

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accommodate the approved subdivision. As such, the proposed amendment is not only fulfilling the goals, objective and policies of Chapter Three of the City's Comprehensive Plan, but is also accommodating other components of the Comprehensive Plan (e.g., Chapter Six: Economic Development).

Lastly, Chapter Three of the Comprehensive Plan states that future policies should "discourage roadways from becoming barriers to movement." With the proposed streets, it is allowing for greater mobility of residents coming to and from Forest Creek Subdivision to other areas in the region.

2. Granting Special Privileges or Placing Limitations Not Permitted. No amendment to change the Future Land Use Map shall contain special privileges or rights or any conditions, limitations, or requirements not applicable to all other lands in the district.

Analysis: The proposed amendment to the Official Street Map is to provide access to the 60 lots as part of the approved subdivision.

Findings: The amendment is consistent with the Transportation Element of the City's Comprehensive Plan. According to the transportation vision statement, "streets are designed and maintained to create a sense of place for residential and commercial neighborhoods and for the City. The use of parks, tree-lined boulevards, neighborhood signs or statutes, and the location of parking lots to the rear or sides of buildings all add to the positive visual experience of the community." As shown is the approved subdivision plat, the streets are near Outlots 1 & 2, which is meant to preserve the drainage areas from development.

3. The amendment shall not create an adverse impact on adjacent land/land uses.

Analysis: The Evelyn Court, Joe Street, Leonard Street and Lost Creek Road Right-of-Ways are each 66 feet in width and is intended to provide access to each of the 60 residential lots.

Findings: With Forest Creek Subdivision providing single- and two-family residential land uses, having a 66-foot right-of-way is of sufficient size to handle the anticipated traffic generation from adjacent lots. As stated earlier, these streets were designed intentionally to provide greater connectivity within this area of the city and revert to a similar grid-style street pattern that exists elsewhere in the city. Having a grid-style street pattern should improve traffic flow with the region and, as such, would not have an adverse impact on adjacent parcels.

4. The amendment shall not create an adverse impact on public facilities and serves.

Analysis: Utility infrastructure is planned within the platted right-of-ways to enable utility connections to the residential lots.

Findings: The proposed amendment should not create an adverse impact on public facilities and services. Given the planned public infrastructure associated with this street project, along with the City's protective services divisions (e.g., Police Department & Fire Department) being involved in the development of the subdivision plat, staff believes that this standard is met.

**ORDINANCE AMENDING THE REVISED MUNICIPAL CODE
OF THE CITY OF STEVENS POINT**

The Common Council of the City of Stevens Point do ordain as follows:

SECTION I: That the Official Street Map and Extraterritorial Street Map of the City of Stevens Point be amended by adding the following described streets:

Evelyn Court

A 66 foot wide street from its intersection with Golla Road to its intersection with Maple Bluff Road, described as follows and depicted on attached Exhibit 'A':

Being part of Forest Creek Subdivision, located in the Northwest Quarter of the Southeast Quarter and the Northeast Quarter of the Southeast Quarter of Section 26, Township 24 North, Range 8 East, City of Stevens Point, Portage County, Wisconsin:

Lost Creek Road

A 66 foot wide street from its intersection with Evelyn Court to its intersection with Brilowski Road, described as follows and depicted on attached Exhibit 'A':

Being part of Forest Creek Subdivision, located in the Northwest Quarter of the Southeast Quarter and the Northeast Quarter of the Southeast Quarter of Section 26, Township 24 North, Range 8 East, City of Stevens Point, Portage County, Wisconsin:

Joe Street

A 66 foot wide street from its intersection with Golla Road extending approximately 203 feet north of Lost Creek Road, described as follows and depicted on attached Exhibit 'A':

Being part of Forest Creek Subdivision, located in the Northwest Quarter of the Southeast Quarter and the Northeast Quarter of the Southeast Quarter of Section 26, Township 24 North, Range 8 East, City of Stevens Point, Portage County, Wisconsin:

Leonard Street

A 66 foot wide street from its intersection with Golla Road to its intersection with Lost Creek Road Road, described as follows and depicted on attached Exhibit 'A':

Being part of Forest Creek Subdivision, located in the Northwest Quarter of the Southeast Quarter and the Northeast Quarter of the Southeast Quarter of Section 26, Township 24 North, Range 8 East, City of Stevens Point, Portage County, Wisconsin:

SECTION II: The City Clerk shall file a copy of the ordinance with the Register of Deeds of Portage County, Wisconsin.

SECTION III: This ordinance shall take effect upon passage and publication.

Approved: _____
Mike Wiza, Mayor

Attest: _____
Kari Yenter, City Clerk

Dated: July 2, 2024
Approved: August 19, 2024
Published: August 29, 2024

RETURN TO: Stevens Point City Clerk
Drafted by P. Fuehrer, City Engineering

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified June 25, 2024

Department of Administration



FOREST CREEK SUBDIVISION

A SUBDIVISION PLAT OF FOREST CREEK SUBDIVISION, BEING ALL OF LOT 2 OF CERTIFIED SURVEY MAP #4939-17-194, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, AND ALL OF OUT LOT 1 OF CERTIFIED SURVEY MAP #011720, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, ALL IN SECTION 26, TOWNSHIP 24 NORTH, RANGE 8 EAST, CITY OF STEVENS POINT, PORTAGE COUNTY, WISCONSIN.

UTILITY EASEMENTS
NO POLES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE OR OBSTRUCT VISION ALONG ANY LOT LINE OR STREET LINE. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS A VIOLATION OF s. 236.32 OF THE REVISED WISCONSIN STATUTES. UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE OR PUBLIC UTILITIES HAVING THE RIGHT TO SERVE THE AREA.

THE UTILITY EASEMENTS INCLUDE THE RIGHT OF THE UTILITY TO TRIM OR REMOVE ANY OR ALL TREES WITHIN THE EASEMENT WHICH WOULD INTERFERE WITH THE CONSTRUCTION OR MAINTENANCE OF THE UTILITY.

UTILITY EASEMENT NOTES
TYPICAL 12' UTILITY EASEMENT. SIDES OF EASEMENT ARE PARALLEL TO ROW LINES AND THEY SHALL LENGTHEN OR SHORTEN TO PROVIDE CONTINUITY.
NOT TO SCALE

DRAINAGE EASEMENT NOTES
TYPICAL DRAINAGE EASEMENT WIDTH AS NOTED. SIDES OF EASEMENT ARE PARALLEL TO LOT LINES AND THEY SHALL LENGTHEN OR SHORTEN TO PROVIDE CONTINUITY.
NOT TO SCALE

BIKE/PEDESTRIAN EASEMENT
15' WIDE EASEMENT FOR BIKE/PEDESTRIAN USE ALONG SOUTHERLY SIDE OF OUT LOT 1 AND OUT LOT 2, AND EAST SIDE OF LOT 24 AND LOT 25. SIDES OF EASEMENT ARE PARALLEL TO LOT LINES AND THEY SHALL LENGTHEN OR SHORTEN TO PROVIDE CONTINUITY.

LOT SIZE		
LOT #	SQ. FT.	ACRES
27	5,040	0.116
28	5,040	0.116
29	5,040	0.116
30	5,040	0.116

DEVELOPER/OWNER:
CITY OF STEVENS POINT
1515 STRONGS AVENUE
STEVENS POINT, WI 54481

BASE FOR BEARING
BEARINGS REFERENCED TO THE EAST LINE OF THE SE 1/4 OF SECTION 26, T24N, R8E, HAVING A GRID BEARING OF N 00°13'43" W, PER THE WISCONSIN COUNTY COORDINATE SYSTEM, PORTAGE COUNTY, NAD83(2011).

SURVEYOR'S CERTIFICATE

I, AARON PARKS, PROFESSIONAL LAND SURVEYOR S-2861, DO HEREBY CERTIFY THAT UNDER THE DIRECTION OF MIKE WIZA, MAYOR OF THE CITY OF STEVENS POINT, I HAVE SURVEYED, DIVIDED, AND MAPPED FOREST CREEK SUBDIVISION, BEING ALL OF LOT 2 OF CERTIFIED SURVEY MAP #4939-17-194, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, AND ALL OF OUT LOT 1 OF CERTIFIED SURVEY MAP #011720, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, ALL IN SECTION 26, T24N, R8E, CITY OF STEVENS POINT, PORTAGE COUNTY, WISCONSIN.

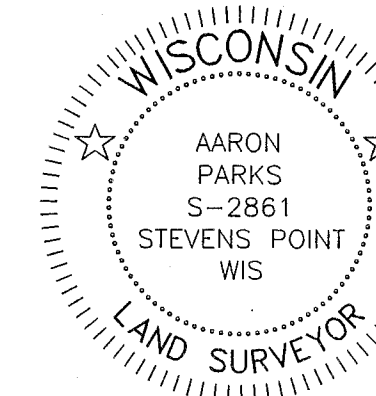
THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE PROVISIONS OF THE SUBDIVISION ORDINANCE OF THE CITY OF STEVENS POINT, WISCONSIN, IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS 28TH DAY OF MAY, 2024.

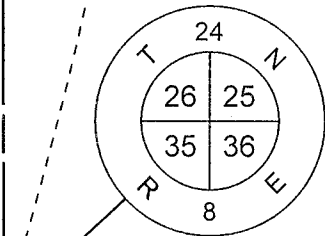
AARON PARKS
PROFESSIONAL LAND SURVEYOR S-2861

REVISED THIS 13TH DAY OF JUNE, 2024

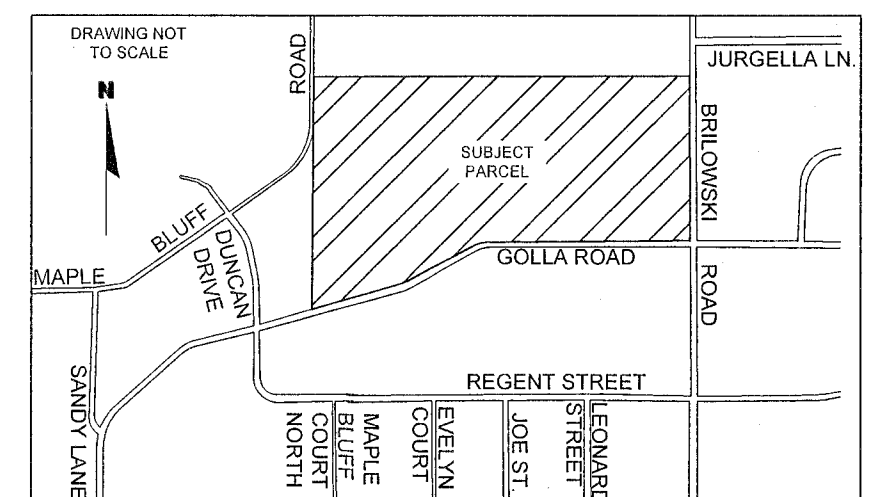


PREPARED BY:
AARON PARKS, PLS #2861
GREMMER & ASSOCIATES, INC.
120 WILSHIRE BLVD. NORTH
STEVENS POINT, WI 54481
PHONE (715)341-4363

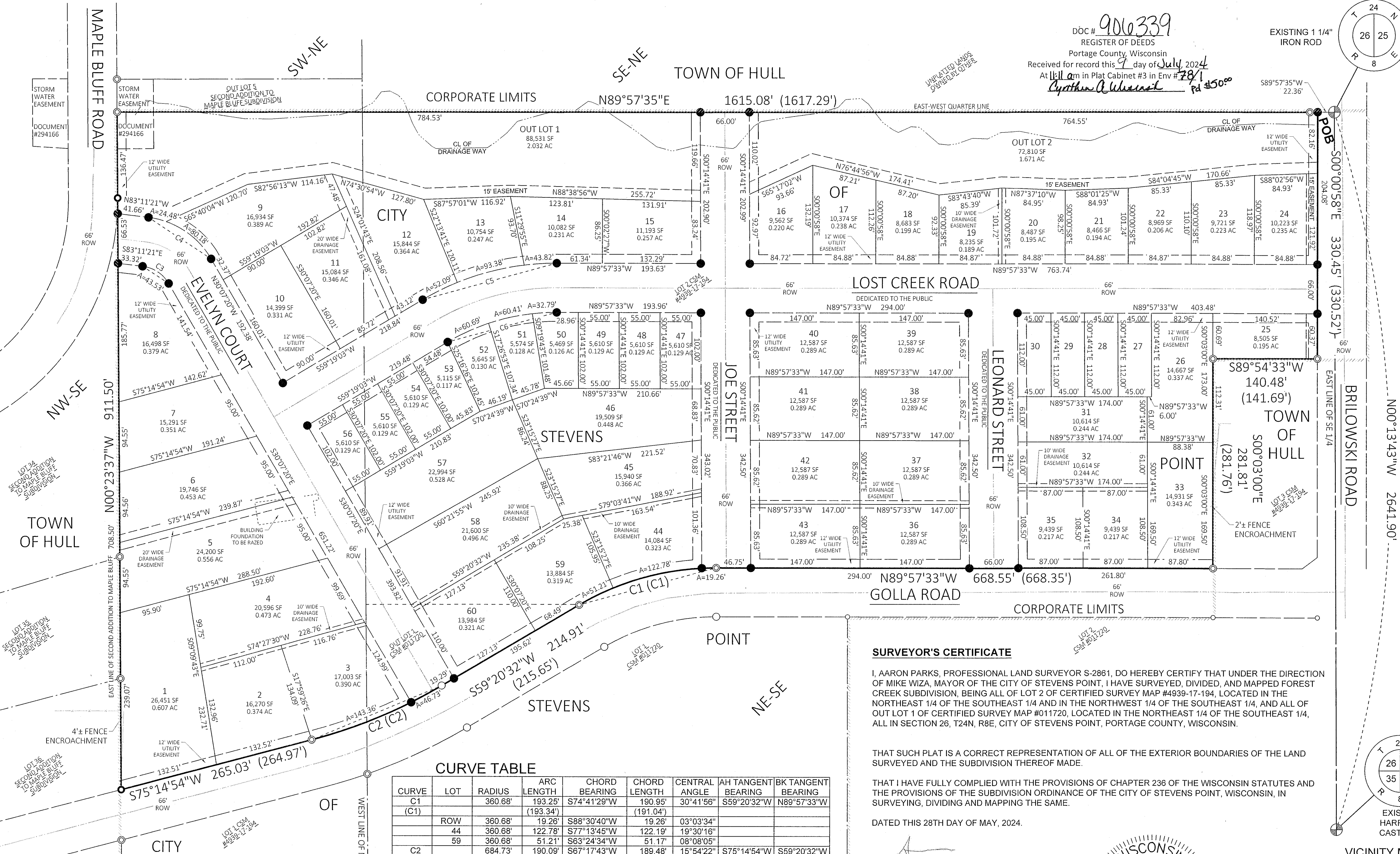
GREMMER
& ASSOCIATES, INC.
CONSULTING ENGINEERS
Stevens Point • Fond du Lac



VICINITY MAP



SHEET 1 OF 2 SHEETS



LEGEND

- ⊕ FOUND GOVERNMENT MONUMENT AS NOTED
- ⊙ EXISTING 3/4" REBAR
- EXISTING 1 1/4" REBAR
- ⊙ EXISTING 1 1/4" O.D. IRON PIPE
- ⊙ EXISTING 2 1/4" O.D. IRON PIPE
- SET 1 1/4" X 18" REBAR, WEIGHING 4.30 LBS/LIN FT
- ALL OTHER LOT CORNERS SET WITH A 1 1/4" OD X 18" IRON PIPE WEIGHING 1.68 LBS/LIN FT
- () RECORDED DISTANCE FROM PREVIOUS INSTRUMENT

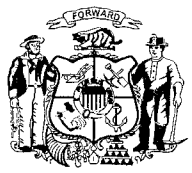
CURVE TABLE

CURVE	LOT	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	CENTRAL ANGLE	AH TANGENT BEARING	BK TANGENT BEARING
C1		360.68'	193.25'	S74°41'29"W	190.95'	30°41'56"	S59°20'32"W	N89°57'33"W
(C1)			(193.34')			(191.04')		
	ROW	360.68'	19.26'	S88°30'40"W	19.26'	03°03'34"		
	44	360.68'	122.78'	S77°13'45"W	122.19'	19°30'16"		
	59	360.68'	51.21'	S63°24'34"W	51.17'	08°08'05"		
C2		684.73'	190.09'	S67°17'43"W	189.48'	15°54'22"	S75°14'54"W	S59°20'32"W
(C2)			(189.58')			(188.98')		
	ROW	684.73'	46.73'	S61°17'51"W	46.73'	03°54'38"		
	3	684.73'	143.36'	S69°15'02"W	143.09'	11°59'44"		
C3		47.00'	43.53'	S56°39'20"E	41.99'	53°04'01"	S30°07'20"E	S83°11'21"E
C4		113.00'	104.66'	N56°39'20"W	100.96'	53°04'01"	N83°11'21"W	N30°07'20"W
	9	113.00'	80.18'	N50°27'00"W	78.51'	40°39'20"		
	OL 1	113.00'	24.48'	N76°59'00"W	24.43'	12°24'41"		
C5		353.00'	189.29'	S74°40'45"W	187.03'	30°43'24"	S59°19'03"W	N89°57'33"W
	14	353.00'	43.82'	S86°29'06"W	43.79'	07°06'42"		
	13	353.00'	93.38'	S75°21'02"W	93.11'	15°09'26"		
	12	353.00'	52.09'	S63°32'41"W	52.04'	08°27'16"		
C6		287.00'	153.90'	S74°40'45"W	152.06'	30°43'24"	S59°19'03"W	N89°57'33"W
	50	287.00'	32.79'	S86°46'03"W	32.77'	06°32'47"		
	51	287.00'	60.41'	S77°27'51"W	60.30'	12°03'38"		
	52	287.00'	60.69'	S65°22'33"W	60.58'	12°06'59"		

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified June 25, 20 24

Don Hime
Department of Administration



FOREST CREEK SUBDIVISION

Doc. # 906339

A SUBDIVISION PLAT OF FOREST CREEK SUBDIVISION, BEING ALL OF LOT 2 OF CERTIFIED SURVEY MAP #4939-17-194, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, AND ALL OF OUT LOT 1 OF CERTIFIED SURVEY MAP #011720, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, ALL IN SECTION 26, TOWNSHIP 24 NORTH, RANGE 8 EAST, TOWN OF HULL, PORTAGE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, AARON PARKS, PROFESSIONAL LAND SURVEYOR S-2861, DO HEREBY CERTIFY THAT UNDER THE DIRECTION OF MIKE WIZA, MAYOR OF THE CITY OF STEVENS POINT, I HAVE SURVEYED, DIVIDED, AND MAPPED FOREST CREEK SUBDIVISION, AND THAT SUCH PLAT CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES AND THE SUBDIVISION OF THE LAND SURVEYED, BEING ALL OF LOT 2 OF CERTIFIED SURVEY MAP #4939-17-194, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, AND ALL OF OUT LOT 1 OF CERTIFIED SURVEY MAP #011720, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, ALL IN SECTION 26, T24N, R8E, CITY OF STEVENS POINT, PORTAGE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 26, T24N, R8E;
THENCE S89°57'35"W, ALONG THE EAST-WEST QUARTER LINE OF SAID SECTION 26, 22.36 FEET, TO THE EXISTING WEST RIGHT OF WAY LINE OF BRILOWSKI ROAD, ALSO THE POINT OF BEGINNING;
THENCE S00°00'58"E, ALONG THE SAID EXISTING WEST RIGHT OF WAY LINE, 330.45 FEET, TO THE NORTHEAST CORNER OF LOT 3 OF CERTIFIED SURVEY MAP #4939-17-194;
THENCE S89°54'33"W, ALONG THE NORTH LINE OF SAID LOT 3, 140.48 FEET;
THENCE S00°03'00"E, ALONG THE WEST LINE OF SAID LOT 3, 281.81 FEET, TO THE EXISTING NORTH RIGHT OF WAY LINE OF GOLLA ROAD;
THENCE N89°57'33"W, ALONG THE SAID EXISTING NORTH RIGHT OF WAY LINE, 668.55 FEET;
THENCE ALONG SAID EXISTING NORTH RIGHT OF WAY, SOUTHWESTERLY 193.25 FEET ALONG THE ARC OF A 360.68 FOOT RADIUS CURVE, CENTER WHICH LIES SOUTHERLY, A CHORD WHICH BEARS S74°41'29"W, A DISTANCE OF 190.95 FEET;
THENCE S69°20'32"W, 214.91 FEET ALONG SAID EXISTING NORTHERLY RIGHT OF WAY LINE;
THENCE ALONG SAID EXISTING NORTHERLY RIGHT OF WAY, SOUTHWESTERLY 190.09 FEET ALONG THE ARC OF A 684.73 FOOT RADIUS CURVE, CENTER WHICH LIES NORTHERLY, A CHORD WHICH BEARS S67°17'43"W, A DISTANCE OF 189.48 FEET;
THENCE S75°14'54"W, ALONG SAID EXISTING NORTHERLY RIGHT OF WAY LINE, 265.03 FEET, TO THE SOUTHEAST CORNER OF SECOND ADDITION TO MAPLE BLUFF SUBDIVISION, AS RECORDED IN THE PORTAGE COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT #273512;
THENCE N00°23'37"W, ALONG THE EAST LINE OF SAID SUBDIVISION, 911.50 FEET, TO THE EAST-WEST QUARTER LINE OF SECTION 26;
THENCE N89°57'35"E, 1615.08 FEET ALONG SAID EAST-WEST QUARTER LINE TO THE POINT OF BEGINNING.
SAID PARCEL CONTAINS 24.639 ACRES, MORE OR LESS.

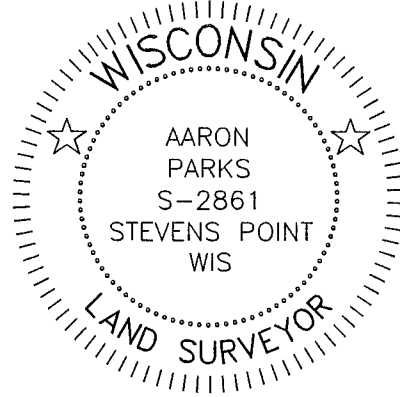
THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE PROVISIONS OF THE SUBDIVISION ORDINANCE OF THE CITY OF STEVENS POINT, WISCONSIN, IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS 28TH DAY OF MAY, 2024.

AARON PARKS
PROFESSIONAL LAND SURVEYOR S-2861

REVISED THIS 13TH DAY OF JUNE, 2024



CORPORATE OWNER'S CERTIFICATE OF DEDICATION

CITY OF STEVENS POINT, A MUNICIPAL CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DO HEREBY CERTIFY THAT SAID CORPORATION CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED ON THIS PLAT.

CITY OF STEVENS POINT, DOES FURTHER CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

STATE OF WISCONSIN DEPARTMENT OF ADMINISTRATION
CITY OF STEVENS POINT

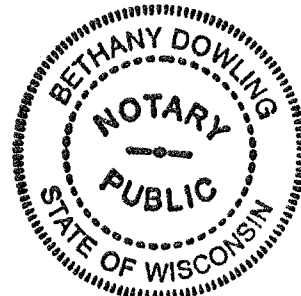
IN WITNESS WHEREOF, THE SAID CITY OF STEVENS POINT, HAS CAUSED THESE PRESENTS TO BE SIGNED BY MIKE WIZA, ITS MAYOR, AND ATTESTED BY KARI YENTER, ITS CLERK, AT STEVENS POINT, WISCONSIN, AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED ON THIS 13th DAY OF July, 2024.

IN THE PRESENCE OF:
MIKE WIZA 7/1/24
MAYOR

STATE OF WISCONSIN)
PORTAGE COUNTY) SS

PERSONALLY CAME BEFORE ME THIS 1 DAY OF July, 2024, MIKE WIZA, MAYOR, AND KARI YENTER, CLERK, OF THE ABOVE NAMED CORPORATION, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND TO ME KNOWN TO BE SUCH MAYOR AND CLERK OF SAID CORPORATION, AND ACKNOWLEDGED THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICER AS THE DEED OF SAID CORPORATION, BY ITS AUTHORITY.

Notary Public, Portage, Wisconsin
MY COMMISSION EXPIRES 12-12-2025



COMMON COUNCIL RESOLUTION

RESOLVED, THAT THE PLAT OF FOREST CREEK SUBDIVISION IN THE CITY OF STEVENS POINT, CITY OF STEVENS POINT, OWNER, IS HEREBY APPROVED BY THE COMMON COUNCIL.

APPROVED IN ACCORDANCE WITH THE CITY OF STEVENS POINT SUBDIVISION ORDINANCE THIS 17th DAY OF June, 2024.

APPROVED BY
MIKE WIZA, MAYOR

I HEREBY ATTEST, THAT THE FOREGOING IS A COPY OF A RESOLUTION ADAPTED BY THE COMMON COUNCIL OF THE CITY OF STEVENS POINT.

ATTESTED BY
KARI YENTER, CLERK

CITY CLERK'S CERTIFICATE

STATE OF WISCONSIN)
PORTAGE COUNTY) SS

I, KARI YENTER, BEING THE DULY APPOINTED, QUALIFIED AND ACTING CITY CLERK OF THE CITY OF STEVENS POINT, DO HEREBY CERTIFY THAT COPIES OF FOREST CREEK SUBDIVISION WERE FORWARDED ON THE 30th DAY OF July, 2024 AS REQUIRED BY S. 236.12 (4) AND THAT NO OBJECTIONS TO THE PLAT HAVE BEEN FILED WITHIN THE 20-DAY LIMIT SET BY SUB. (3) OR, IF FILED, HAVE BEEN MET.

07-08-24 KARI YENTER, CLERK

CITY TREASURER'S CERTIFICATE

STATE OF WISCONSIN)
PORTAGE COUNTY) SS

I, COREY LADICK, BEING THE DULY ELECTED, QUALIFIED AND ACTING TREASURER OF THE CITY OF STEVENS POINT, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR SPECIAL ASSESSMENTS AS OF July 1, 2024, AFFECTING THE LANDS INCLUDED IN THE PLAT OF FOREST CREEK SUBDIVISION.

7-1-2024 Corey Ladick
DATE COREY LADICK, CITY TREASURER

COUNTY TREASURER'S CERTIFICATE

STATE OF WISCONSIN)
PORTAGE COUNTY) SS

I, PAMELA PRZYBELSKI, BEING THE DULY ELECTED, QUALIFIED AND ACTING TREASURER OF THE COUNTY OF PORTAGE, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR SPECIAL ASSESSMENTS AS OF July 8, 2024 AFFECTING THE LANDS INCLUDED IN THE PLAT OF FOREST CREEK SUBDIVISION.

7/08/24 Pamela Przybelski
DATE PAMELA PRZYBELSKI, COUNTY TREASURER

UTILITY EASEMENT PROVISIONS

AN EASEMENT FOR ELECTRIC, NATURAL GAS AND COMMUNICATIONS SERVICE IS HEREBY GRANTED BY:

THE CITY OF STEVENS POINT, GRANTOR, TO

WISCONSIN PUBLIC SERVICE CORPORATION, A WISCONSIN CORPORATION, GRANTEE,
AT&T TELECOMMUNICATIONS COMPANY, GRANTEE,
CHARTER COMMUNICATIONS/SPECTRUM TELECOMMUNICATIONS COMPANY, GRANTEE AND
TDS METROCOM, GRANTEE

THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO CONSTRUCT, INSTALL, OPERATE, REPAIR, MAINTAIN AND REPLACE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND ELECTRIC ENERGY, NATURAL GAS, TELEPHONE, CABLE TV AND FIBER OPTIC FACILITIES FOR SUCH PURPOSE AS THE SAME IS NOW OR MAY HEREAFTER BE USED, ALL IN, OVER, UNDER, ACROSS, ALONG AND UPON THE PROPERTY SHOWN WITHIN THOSE AREAS ON THE PLAT DESIGNATED AS "UTILITY EASEMENT" AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHT TO INSTALL SERVICE CONNECTIONS UPON, ACROSS, WITHIN AND BENEATH THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS, THEREON, OR ON ADJACENT LOTS; ALSO THE RIGHT TO TRIM OR CUT DOWN TREES, BRUSH AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENTAL TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. THE GRANTEEES AGREE TO RESTORE OR CAUSE TO HAVE RESTORED, THE PROPERTY, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO SUCH ENTRY BY THE GRANTEEES OR THEIR AGENTS. THIS RESTORATION, HOWEVER, DOES NOT APPLY TO THE INITIAL INSTALLATION OF SAID UNDERGROUND AND/OR ABOVE GROUND ELECTRIC FACILITIES, NATURAL GAS FACILITIES, TELEPHONE AND CABLE TV FACILITIES OR FIBER OPTIC FACILITIES OR TO ANY TREES, BRUSH OR ROOTS WHICH MAY BE REMOVED AT ANY TIME PURSUANT TO THE RIGHTS HEREIN GRANTED. STRUCTURES SHALL NOT BE PLACED OVER GRANTEEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE LINES MARKED "UTILITY EASEMENT" WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED BY MORE THAN SIX INCHES WITHOUT WRITTEN CONSENT OF GRANTEEES. THIS UTILITY EASEMENT PROVISION DOES NOT PREVENT OR PROHIBIT OTHERS FROM UTILIZING OR CROSSING THE UTILITY EASEMENT AS THE UTILITY EASEMENT(S) ARE NON-EXCLUSIVE.

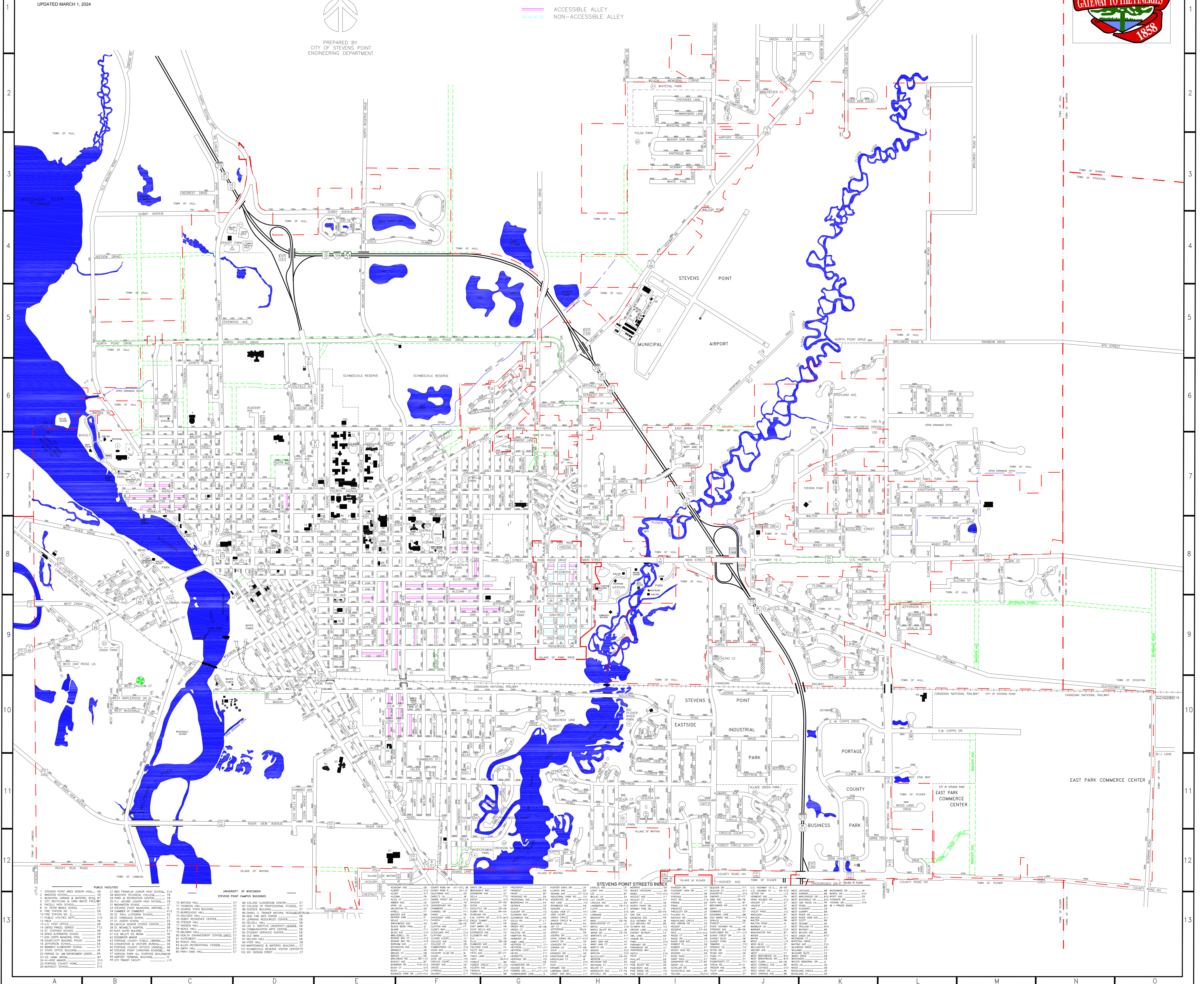
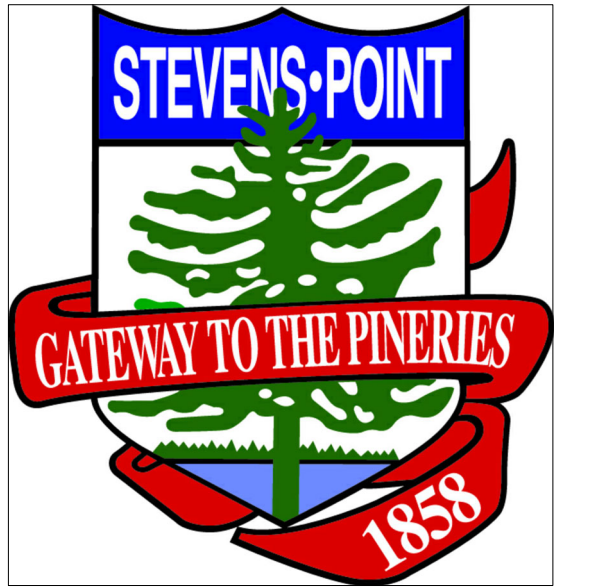
THE GRANT OF EASEMENT SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE HEIRS, SUCCESSORS AND ASSIGNS OF ALL PARTIES HERETO.

DEVELOPER/OWNER:
CITY OF STEVENS POINT
1515 STRONGS AVENUE
STEVENS POINT, WI 54481

PREPARED BY:
AARON PARKS, PLS #2861
GREMMER & ASSOCIATES, INC.
120 WILSHIRE BLVD. NORTH
STEVENS POINT, WI 54481
PHONE (715)341-4363



 ACCESSIBLE ALLEY
 NON-ACCESSIBLE ALLEY





MEMORANDUM

To: Plan Commission

From: Adam Kuhn, AICP
Associate Planner / Zoning Administrator

Date: August 5, 2024

RE: Site Plan Review – 1800 Maria Drive

Background: During the July 1, 2024 meeting of the City's Plan Commission, the Commission reviewed a proposed 67-unit apartment development at 1800 Maria Drive. The Commission approved a conceptual plan amendment for the property and a conditional use permit for the proposed development – however, the Commission moved to not act on the site plan review request.

With the subject property being zoned "PD" Planned Development and located within the "B-TID5" Overlay District, the Plan Commission and Common Council is required to approve a site plan review for any new development. During the July 1st meeting, the Commission requested that additional bicycle parking spaces be provided. As the Commission may recall, Section 23.01 (17)(f) of the City's Zoning Ordinance outlines the quantity of bicycle parking spaces provided, which is based on the number of on-site vehicle parking stalls provided. 53 vehicle parking spaces are proposed to service this residential development, which would result in seven bicycle parking spaces being the minimum that is required.

With the Commission's direction, the development team worked to incorporate additional bicycle parking spaces on the property. 30 bicycle parking spaces are proposed, located near the southwest corner of the proposed apartment building. While the parking location would encroach onto the adjacent lot that is proposed to be created, such an encroachment would be allowed provided that it is included as part of the existing shared access agreement.

Lastly, discussions during the July 1st meeting also centered on having bicycle parking spaces inside of the building and having covered bicycle parking spaces. For the

www.stevenspoint.com

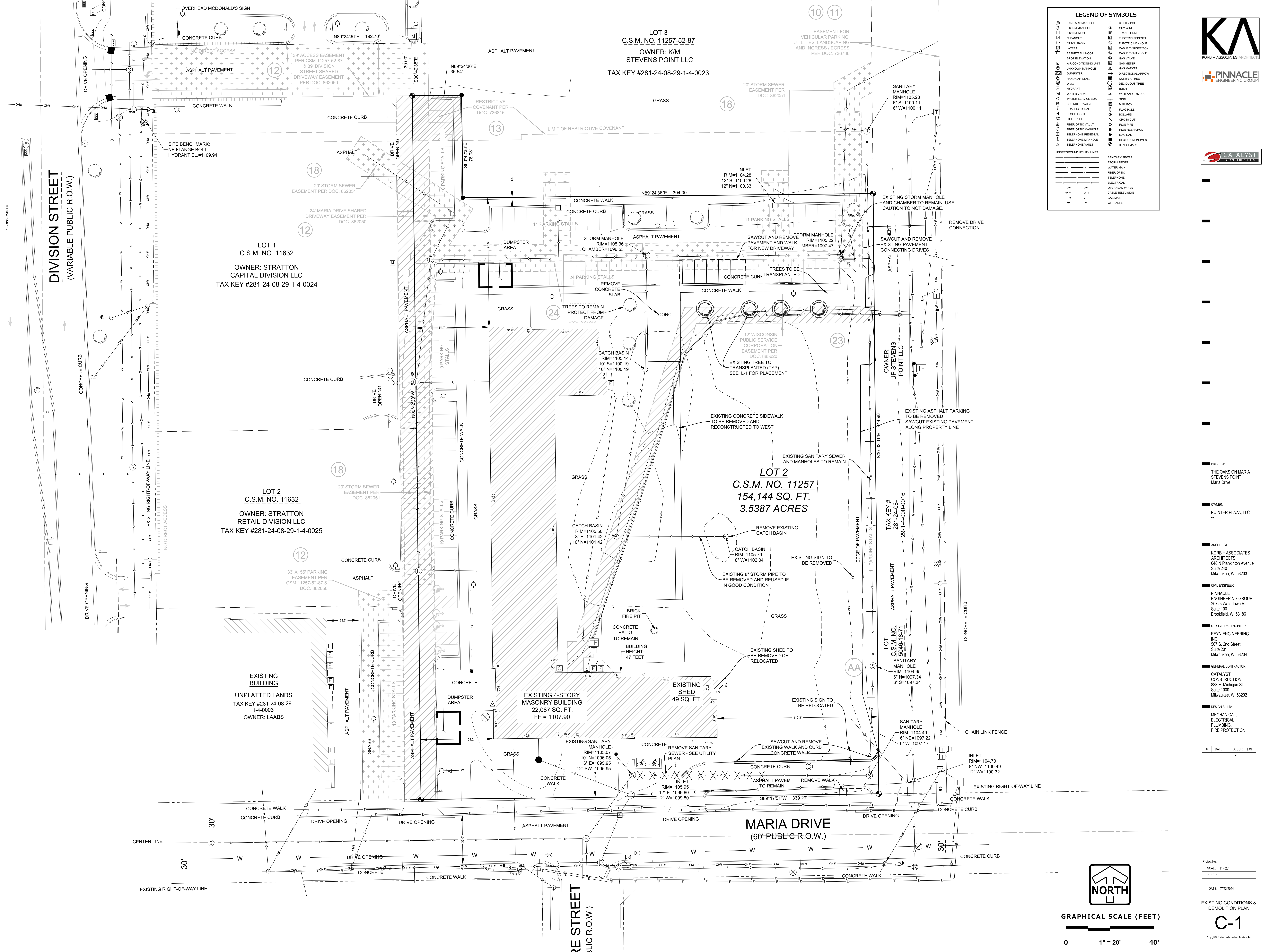
Open Records Rider: The City of Stevens Point is subject to Wisconsin Statutes relating to public records. Communication, such as this document, sent or received by City employees are subject to these laws. Unless otherwise exempted from the public records law, senders and receivers of City communication should presume that the communications are subject to release upon request, and to state record retention requirements.

former, the development team looked at this possibility and determined that it was not feasible to do so as it would reduce the number of housing units provided. For the latter, covered bicycle parking spaces proved to not be feasible due to meeting fire clearance requirements due to its proximity to a proposed lot line.

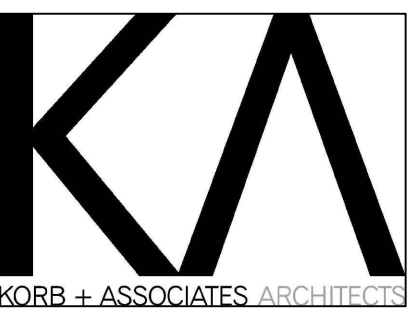
The development team worked diligently to incorporate the comments discussed at the Commission's last meeting. As such, the recommendation for this site plan review is to approve with the following conditions:

1. A certified survey map shall be produced to execute the split of the property into two lots. The certified survey map shall be reviewed by appropriate City departments meeting applicable lot split requirements.
2. An easement shall be recorded prohibiting the construction within ten feet of The Reserve student housing building.
3. An updated shared access agreement shall be recorded to reflect the encroachment of the bicycle parking over two lots.
4. The location of the dumpster enclosure shall be adjusted to not interfere with traffic visibility, subject to the review and approval of the Zoning Administrator.
5. Directional signage and/or pavement markings shall be provided directing traffic flow for the parking area immediately north of the building, subject to the review and approval of the Zoning Administrator.
6. A Knox box shall be installed on the building that is reviewed and approved by the City Fire Marshal.
7. A signage plan shall be submitted to the Zoning Administrator for review and approval.
8. The proposed bicycle parking shall meet minimum location and dimensional standards as outlined in the City's Zoning Code, subject to the review and approval of the Zoning Administrator.
9. An erosion control permit shall be obtained and appropriate erosion control facilities shall be installed prior to the start of land disturbance, subject to the review and approval of the Utilities Department.
10. A building permit shall be obtained prior to the start of construction.
11. Staff shall have the ability to approve minor amendments to the site plan.

An updated plan set is attached, along with the original staff report from July for reference. If you have any questions, please do not hesitate to contact me.



LEGEND OF SYMBOLS	
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	LATERAL
	BASKETBALL HOOP
	SPOT ELEVATION
	AIR CONDITIONING UNIT
	UNKNOWN MANHOLE
	DUMPSTER
	HANDICAP STALL
	WELL
	WATER VALVE
	WATER SERVICE BOX
	SPRINKLER VALVE
	TRAFFIC SIGNAL
	FLOOD LIGHT
	LIGHT POLE
	FIBER OPTIC VAULT
	FIBER OPTIC MANHOLE
	TELEPHONE PEDESTAL
	TELEPHONE MANHOLE
	TELEPHONE VAULT
	UTILITY POLE
	GUY WIRE
	TRANSFORMER
	ELECTRIC PEDESTAL
	ELECTRIC MANHOLE
	CABLE TV PEDESTAL
	CABLE TV MANHOLE
	GAS VALVE
	GAS METER
	GAS MARKER
	DIRECTIONAL ARROW
	CONIFER TREE
	DECIDUOUS TREE
	BUSH
	SIGN
	MAIL BOX
	FLAG POLE
	ISLAND
	CROSSCUT
	IRON PIPE
	IRON REBAR/ROD
	MAIL NAIL
	SECTION MONUMENT
	BENCH MARK
UNDERGROUND UTILITY LINES	
	SANITARY SEWER
	STORM SEWER
	WATER MAIN
	FIBER OPTIC
	TELEPHONE
	ELECTRICAL
	OVERHEAD WIRES
	CABLE TELEVISION
	GAS MAIN
	WETLANDS



PROJECT:
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STEVENS POINT
Maria Drive

OWNER:
POINTER PLAZA, LLC

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
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INC.
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GENERAL CONTRACTOR:
CATALYST
CONSTRUCTION
833 E. Michigan St.
Suite 1000
Milwaukee, WI 53202

DESIGN BUILD:
MECHANICAL,
ELECTRICAL,
PLUMBING,
FIRE PROTECTION.

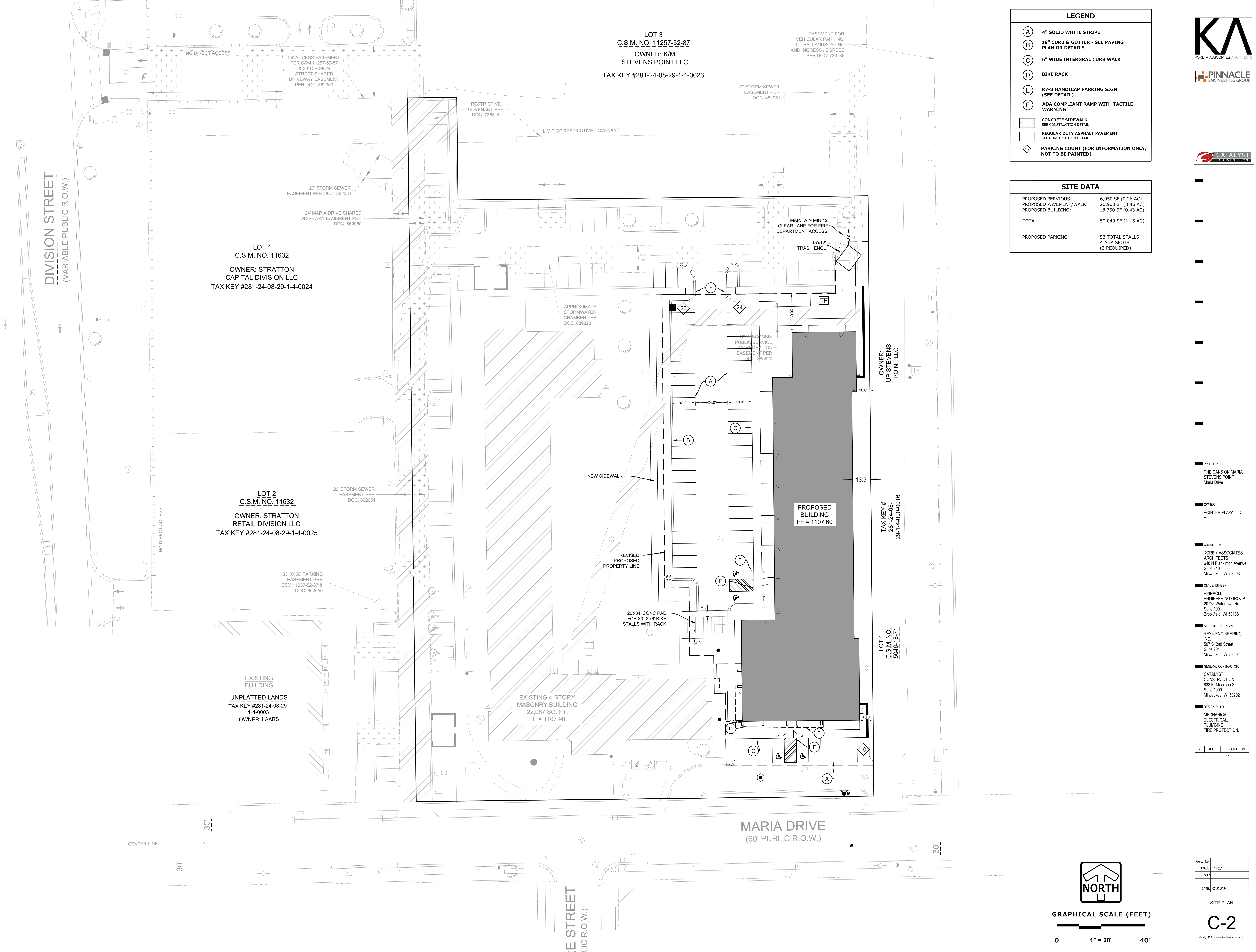
#	DATE	DESCRIPTION
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Project No.	
Scale	1" = 20'
Phase	
Date	07/22/2024

EXISTING CONDITIONS &
DEMOLITION PLAN

C-1

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LEGEND

A

4" SOLID WHITE STRIPE

B

18" CURB & GUTTER - SEE PAVING PLAN OR DETAILS

C

6" WIDE INTEGRAL CURB WALK

D

BIKE RACK

E

R7-8 HANDICAP PARKING SIGN (SEE DETAIL)

F

ADA COMPLIANT RAMP WITH TACTILE WARNING

CONCRETE SIDEWALK
SEE CONSTRUCTION DETAIL

REGULAR DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAIL

10

PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

SITE DATA	
PROPOSED PERVIOUS:	6,050 SF (0.26 AC)
PROPOSED PAVEMENT/WALK:	20,900 SF (0.46 AC)
PROPOSED BUILDING:	18,750 SF (0.43 AC)
TOTAL	50,040 SF (1.15 AC)
PROPOSED PARKING:	53 TOTAL STALLS 4 ADA SPOTS (3 REQUIRED)



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GRAPHICAL SCALE (FEET)

0

1" = 20'

40'

Project No.

SCALE: 1" = 20'

PHASE:

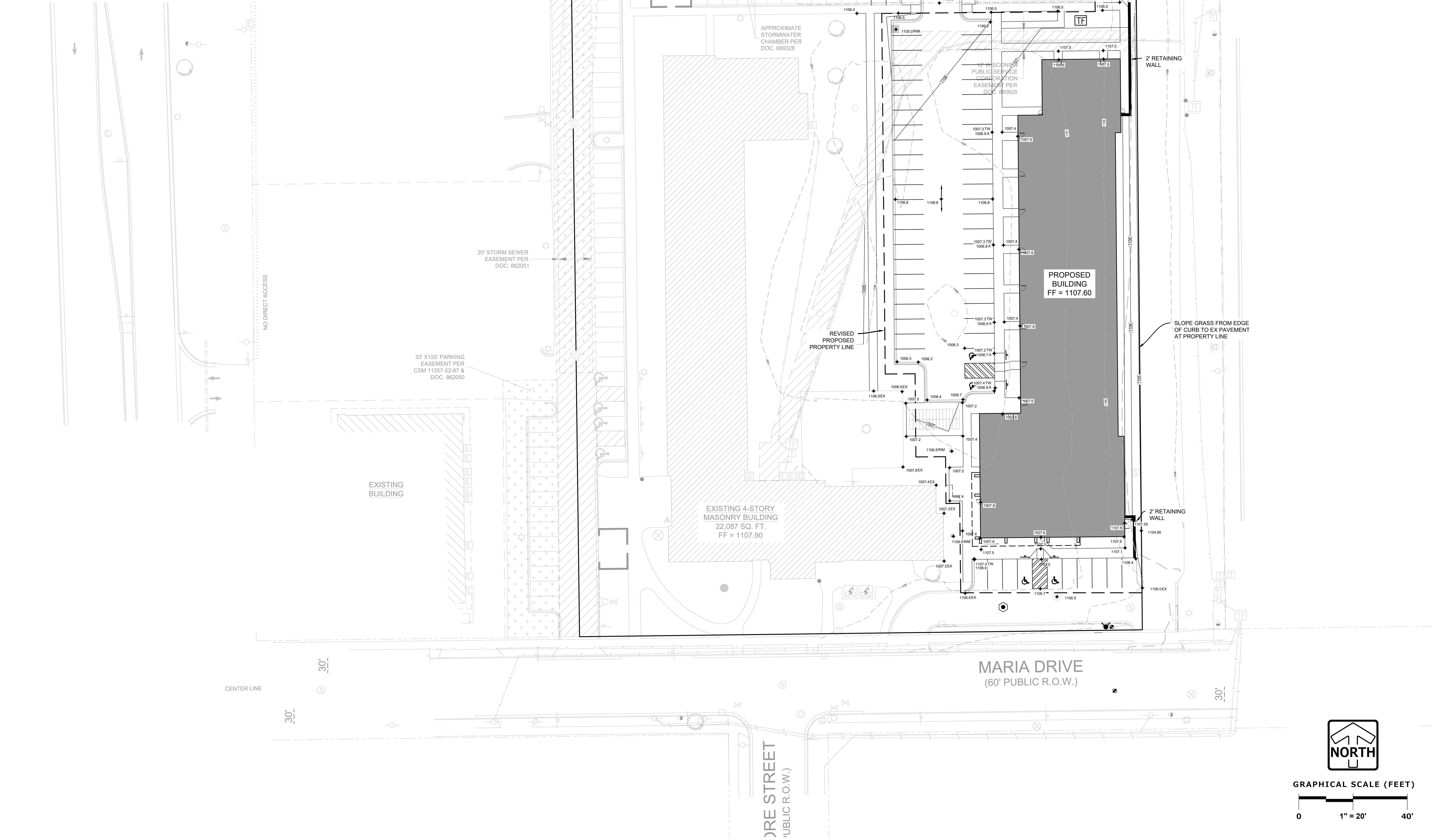
DATE: 07/22/2024

SITE PLAN

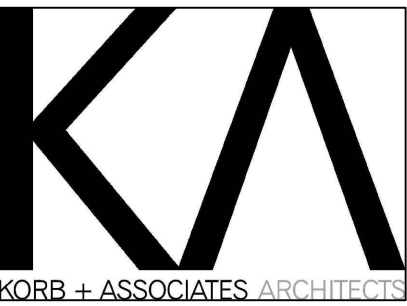
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EROSION CONTROL SPECIFICATIONS & REQUIREMENTS	CONSTRUCTION SITE SEQUENCING
1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EROS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT (NPDES PERMIT NO. WSR00014) FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMPs). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF AND UNDERSTAND THE BMP PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. 2. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL DISCHARGE OR MORE PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH THE GENERAL PERMIT CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIR/REPLACED. 3. POST WDR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED AND A NOTICE OF TERMINATION IS FILED WITH WDR. 4. KEEP COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT. 5. MODIFICATIONS TO THE APPROVED SWAPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMPs. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO IMPLEMENTATION OF THE APPROVED PLAN. 6. OWNER IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST. 7. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. 8. WHEN POSSIBLE PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS). MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE. MINIMIZE SOIL COMPACTION AND PRESERVE TOPSOIL. 9. REFER TO THE WDRM STORMWATER CONSTRUCTION TECHNICAL STANDARDS. 10. INSTALL PERIMETER EROSION CONTROLS AND ROCK TRACKING PAD CONSTRUCTION ENTRANCES PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDRM TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCES.	11. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDRM TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060. 12. WHERE POSSIBLE, STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDRM TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1057. 13. NOTIFY OWNER & ENGINEER IF DEWATERING IS SCHEDULED TO OCCUR IN AREAS OF SOIL AND/OR GROUNDWATER CONTAMINATION OR IF DEWATERING WILL OCCUR FROM A HIGH CAPACITY WELL (75 GPM OR MORE). DEWATERING ONLY AFTER THE APPROPRIATE WDRM DEWATERING DISCHARGE PERMIT HAS BEEN OBTAINED. 14. PUMPS MAY BE USED AS BYPASS DEVICES IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO APPROVED FILTER BAG OR APPROVED SETTLING DEVICE. 15. INSTALL AND MAINTAIN SILT FENCING PER WDRM TECHNICAL STANDARD SILT FENCE #1006. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT. 16. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE (RECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL AND MAINTAIN STRAW BALES PER WDRM TECHNICAL STANDARD DITCH CHECKS #1062. 17. INSTALL AND MAINTAIN FILTER SOCK IN ACCORDANCE WITH WDRM TECHNICAL STANDARD INTERIOR MANUFACTURED PERIMETER CONTROL AND SOPE INTERRUPTION PRODUCTS #1071. 18. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15, STABILIZE WITH MULCH, TACKIFIER AND A PERENNIAL SEED MIXED WITH WINTER WHEAT. ANNUAL GRASS OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER, STABILIZE WITH A POLYMER AND DOMINANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE. 19. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE. 20. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE MUNICIPALITY. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY. 21. OWNER IS RESPONSIBLE FOR CONTROLLING DUST PER WDRM TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES #1058. 22. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTE, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL. 23. COORDINATE WITH THE OWNER, ENGINEER AND DNR REPRESENTATIVE TO UPDATE THE LAND DISTURBANCE PERMIT TO INDICATE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAILED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS OR COMPACTED EARTHEN BERM). 24. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS AND TYPE MATTING FOR THE SPECIFICATIONS UNLESS SPECIFIED OTHERWISE ON THE PLANS. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDRM'S WISDOT PRODUCT ACCEPTABILITY LIST (PAL). INSTALL AND MAINTAIN PER WDRM TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052. 25. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS AND TYPE MATTING FOR THE SPECIFICATIONS UNLESS SPECIFIED OTHERWISE ON THE PLANS. SELECT EROSION MATTING FROM APPROPRIATE MATRIX IN WDRM'S WISDOT PRODUCT ACCEPTABILITY LIST (PAL). INSTALL AND MAINTAIN PER WDRM TECHNICAL STANDARD CHANNEL EROSION MAT #1053. 26. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR. 27. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATERS, SWALES, ETC.) OR AS DIRECTED BY OWNER, MUNICIPALITY, OR DNR REPRESENTATIVE. 28. OWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WORK, REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDRM'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM PUBLIC DATABASE. 29. MAINTAIN SOIL EROSION CONTROL DEVICE THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS ARE FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCE ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED. 30. NOTIFY THE OWNER IMMEDIATELY IF THERE IS A DISCHARGE OF SEDIMENT AND/OR OTHER CONTAMINANTS



LEGEND	
	STORM SEWER MANHOLE
	CATCH BASIN- ROUND CASTING
	CATCH BASIN- RECTANGULAR CASTING
	CONCRETE FLARED END SECTION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	OVERLAND FLOW ROUTE
	INLET PROTECTION (SEE DETAIL)
	CONSTRUCTION ENTRANCE
	EROSION CONTROL BLANKET



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DESIGN BUILD:
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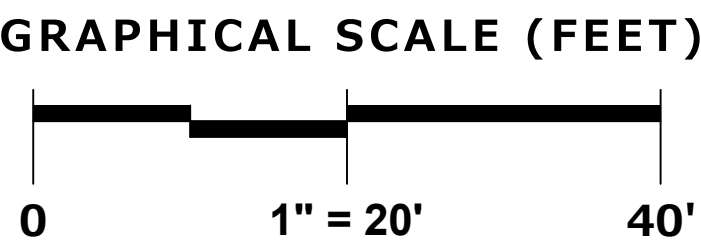
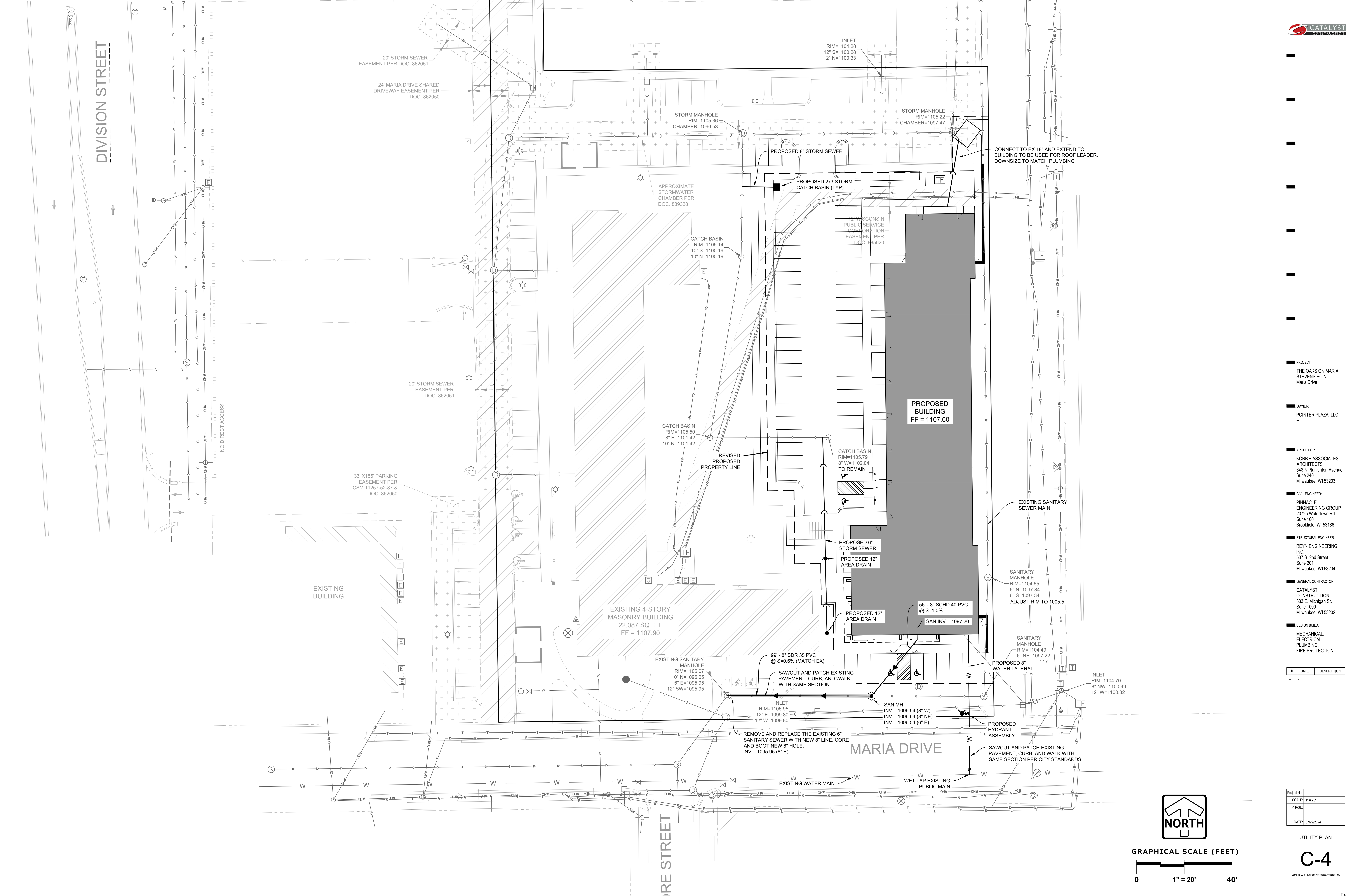
Project No.	SC-1
Scale	1" = 20'
Phase	
Date	07/22/2024

GRADING & EROSION
CONTROL PLAN

C-3

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LEGEND			
	SANITARY SEWER MANHOLE		TELEPHONE LINE
	STORM SEWER MANHOLE		WATER MAIN
	STORM SEWER CATCH BASIN (ROUND CASTING)		FIRE PROTECTION
	STORM SEWER CATCH BASIN (RECTANGULAR CASTING)		UTILITY CROSSING
	PRECAST CONCRETE FLARED END SECTION		ELECTRICAL CABLE
	CLEANOUT		GAS MAIN
	VALVE BOX		OVERHEAD WIRES
	FIRE HYDRANT		LIGHTING
	SANITARY SEWER		ELECTRICAL TRANSFORMER OR PEDESTAL
	FORCE MAIN		POWER POLE
	STORM SEWER		POWER POLE WITH LIGHTS
	DRAIN TILE		STREET SIGN



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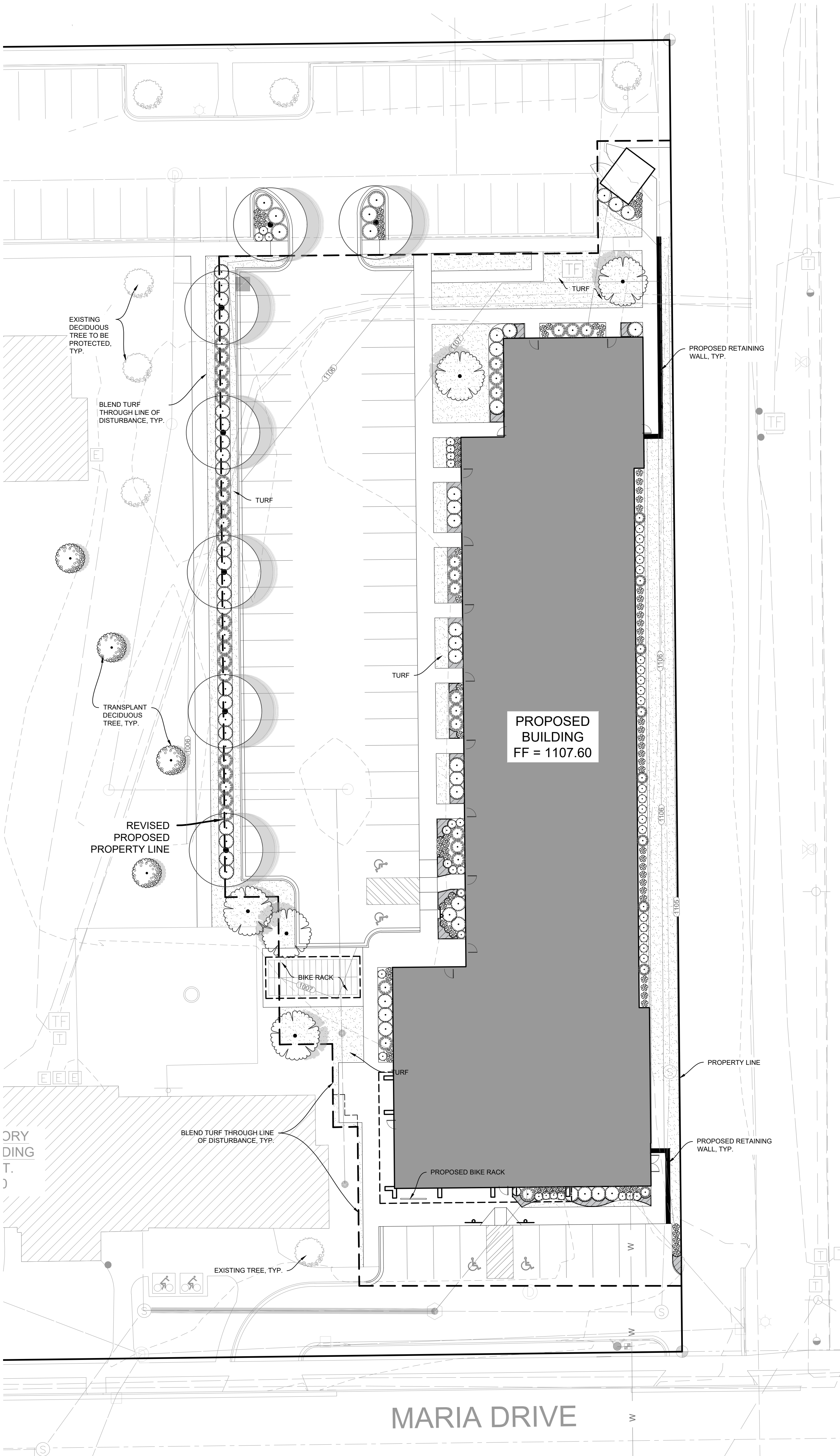
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Project No.	
SCALE	1" = 20'
PHASE	
DATE	07/22/2024

UTILITY PLAN

C-4

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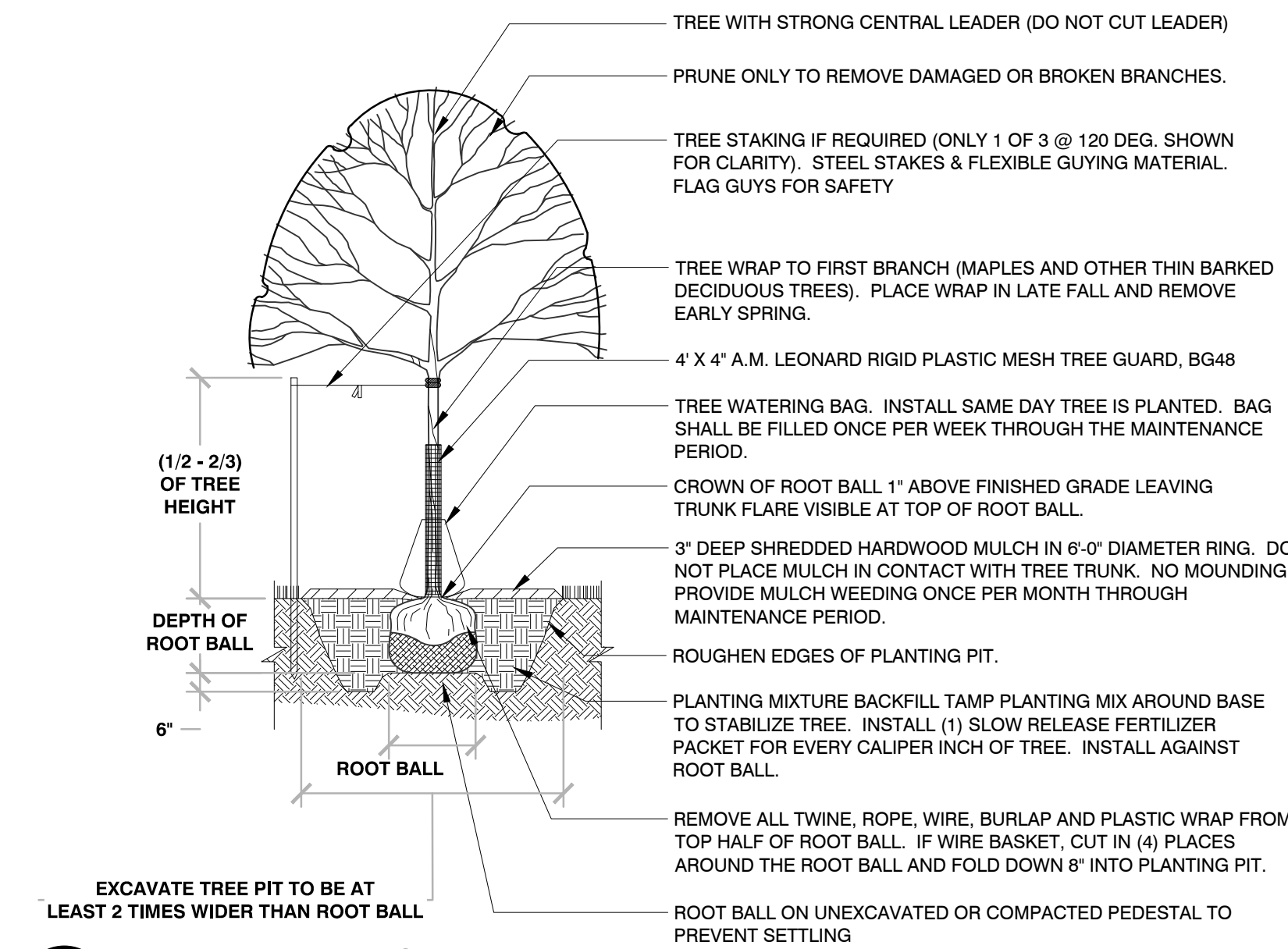
CONCEPT PLANT SCHEDULE			
	CANOPY TREES		
	Acer freemanii 'Autumn Blaze' / Autumn Blaze Maple	7	2' Cal.
	Acer saccharum / Sugar Maple		2' Cal.
	Gleditsia inaequalis 'Inermis' 'Skyline' TM / Skyline Thornless Honey Locust		2' Cal.
	Quercus ellipticalis / Northern Pine Oak		2' Cal.
	Quercus rubra 'Borealis' / Northern Red Oak		2' Cal.
	Tilia americana 'Redmond' / Redmond American Linden		2' Cal.
	ORNAMENTAL TREES		
	Ametanier x grandiflora 'Autumn Brilliance' / 'Autumn Brilliance' Serviceberry	5	2' Cal.
	Betula nigra / River Birch		2' Cal.
	Crataegus crus-galli 'Inermis' TM / Thornless Cockspur Hawthorn		2' Cal.
	Malus x 'Harvest Gold' / Harvest Gold Crab Apple		2' Cal.
	Pyrus calleryana 'Autumn Blaze' / Autumn Blaze Pear		2' Cal.
	Syringa reticulata 'Summer Storm' / Summer Storm Tree Lilac		2' Cal.
	TRANSPLANT- EXISTING TREES		
		4	
	NARROW EVERGREEN SHRUB		
	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar	9	4' Ht.
	MEDIUM DECIDUOUS SHRUB		
	Aronia melanocarpa 'Elate' / Glossy Black Chokeberry	51	3 gal.
	Hydrangea p. 'Vanilla Strawberry' / Vanilla Strawberry Hydrangea		3 gal.
	Rosa rugosa 'Purple Pavement' / Purple Pavement Rugosa Rose		3 gal.
	Sambucus racemosa 'Lemony Lace' / Lemony Lace Elderberry		3 gal.
	Syringa meyeri 'Palibin' / Dwarf Korean Lilac		3 gal.
	MEDIUM EVERGREEN SHRUB		
	Juniperus chinensis 'Sea Green' / Sea Green Juniper	38	3 gal.
	Juniperus chinensis 'Sea of Gold' / Sea of Gold Juniper		3 gal.
	Juniperus chinensis 'Ritteriana Kallay' / Kallay Compact Juniper		3 gal.
	Juniperus virginiana 'Grey Owl' / Grey Owl Juniper		3 gal.
	Taxus x media 'Densiformis' / Dense Yew		3 gal.
	Thuja occidentalis 'Holmstrup' / Holmstrup Cedar		4' Ht.
	SMALL EVERGREEN SHRUB		
	Juniperus squamata 'Blue Star' / Blue Star Juniper	2	2 gal.
	Picea abies 'Nidiformis' / Nest Spruce		2 gal.
	Pinus mugo 'Slowmound' / Slowmound Mugo Pine		2 gal.
	Thuja occidentalis 'Congabe' / Fire Chief Arborvitae		2 gal.
	SMALL DECIDUOUS SHRUBS		
	Dierilla lonicera / Dwarf Bush Honeysuckle	43	2 gal.
	Dierilla sessilifolia 'Cool Splash' / Cool Splash False Honeysuckle		2 gal.
	Forsythia viridissima 'Bronensis' / Bronze Forsythia		2 gal.
	Potentilla fruticosa 'Goldfinger' / Goldfinger Potentilla		2 gal.
	Potentilla fruticosa 'McKay's White' / McKay's White Potentilla		2 gal.
	Spiraea japonica 'Goldmound' / Spirea		2 gal.
	ORNAMENTAL GRASSES		
	Andropogon gerardii / Big Blue Stem	90	1 gal.
	Panicum virgatum 'Heavy Metal' / Blue Switch Grass		1 gal.
	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass		1 gal.
	Sporobolus heterolepis / Prairie Dropseed		1 gal.
	LOW EVERGREEN SHRUBS		
	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	6	3 gal.
	Juniperus horizontalis 'Youngstown' / Creeping Juniper		3 gal.
	PERENNIALS		
	PENNIALS / VARIOUS SPECIES	224 sf	4.5' cont.
	TURF		
		7,400 sf	

GENERAL PLANTING NOTES

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 4B. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A SIMILAR PLANT HARDINESS ZONE AS PROJECT LOCATION. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL BALANCED BRANCH SYSTEMS. HEIGHT-TO-CALIPER RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FOR FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK ANSI Z60.1.
- BNB TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BIODEGRADABLE MATERIAL). THE TREE ROOT FLARE, OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE.
- ALL SPRING TREES MUST BE FRESHLY DUG IN THE SPRING OF 2019.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE AUTUMN OF 2019.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST, AT TIME OF DELIVERY.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BACKFILL 1/2 OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- OAK TREES SHALL BE TREATED FOR TWO-LINE CHESTNUT BORER BOTH AT THE TIME OF INSTALLATION AND DURING THE SECOND GROWING SEASON.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED RING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREE RINGS SHALL HAVE A 4" DEEP TRENCHED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR MECHANICAL EDGER. BED EDGES ARE TO BE CUT CLEAN AND SMOOTH AS SHOWN ON LANDSCAPE PLANS WITH A CLEAR DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 3" DEPTH OF TOPSOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED WEED FREE MANURE OR CLASS 1 ORGANIC MATTER.
- FOR LAWN SEEDING, APPLY A STARTER FERTILIZER AND SEED UNIFORMLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH COVERING THAT IS SUITABLE TO PROMOTE SEED GERMINATION AND TURF ESTABLISHMENT. SEED MIX SHALL CONSIST OF A 70/30 MIX OF ELITE FESCUE AND ELITE BLUEGRASS VARIETIES. 70% FESCUE BLEND SHALL CONSIST OF A MINIMUM OF TWO VARIETIES. 30% BLUEGRASS BLEND SHALL CONSIST OF A MINIMUM OF TWO VARIETIES. CONTRACTOR TO PROVIDE FERTILIZER, SEED, AND MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS LARGER THAN 6" X 6". ANY BARE SPOTS LARGER THAN 6" X 6" AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

SOIL PLACEMENT NOTES

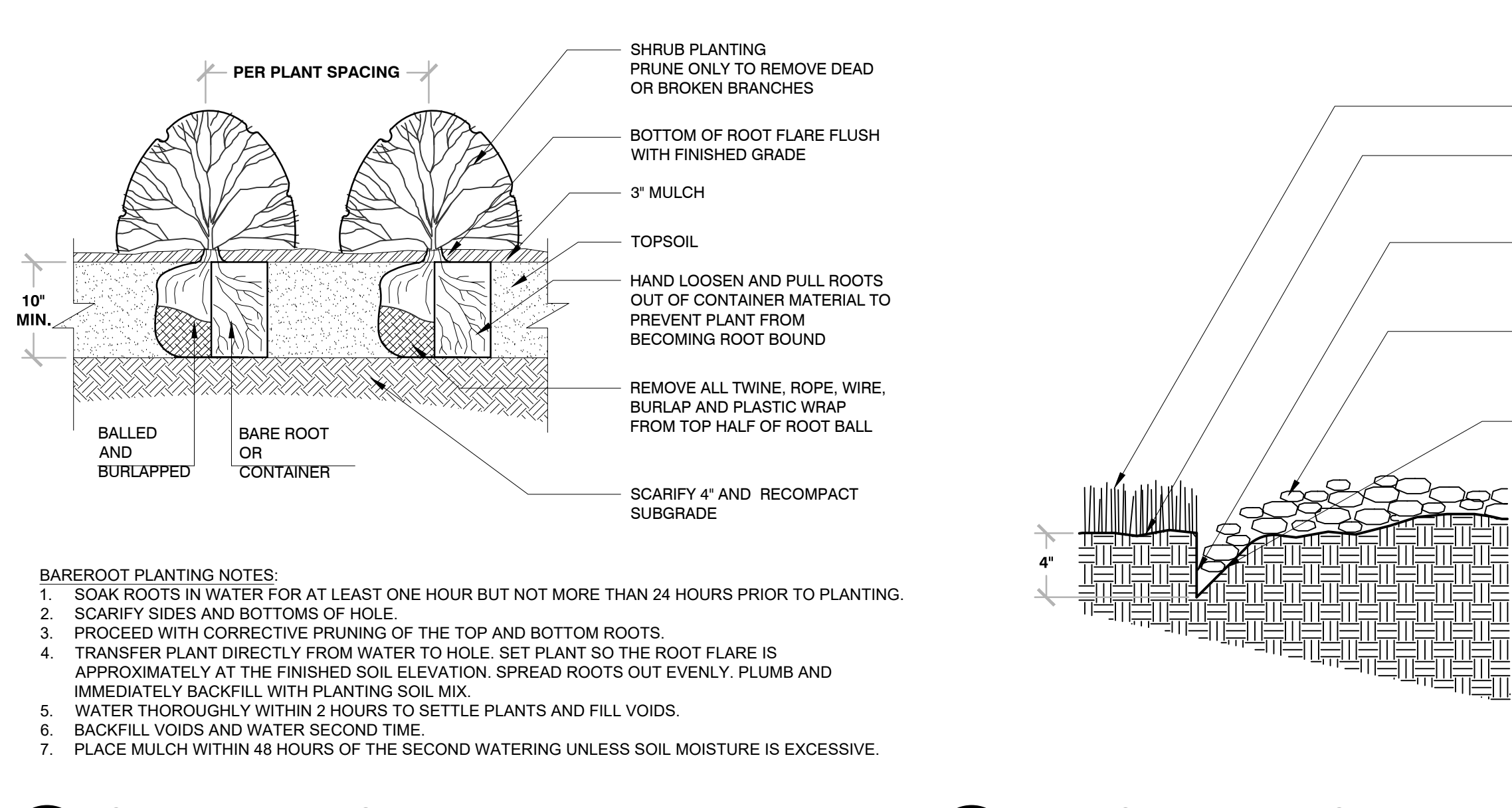
- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. INTERNAL PARKING ISLANDS SHALL BE LOOSENED TO A DEPTH OF 30".
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



1 TREE PLANTING

1/4" = 1'-0"

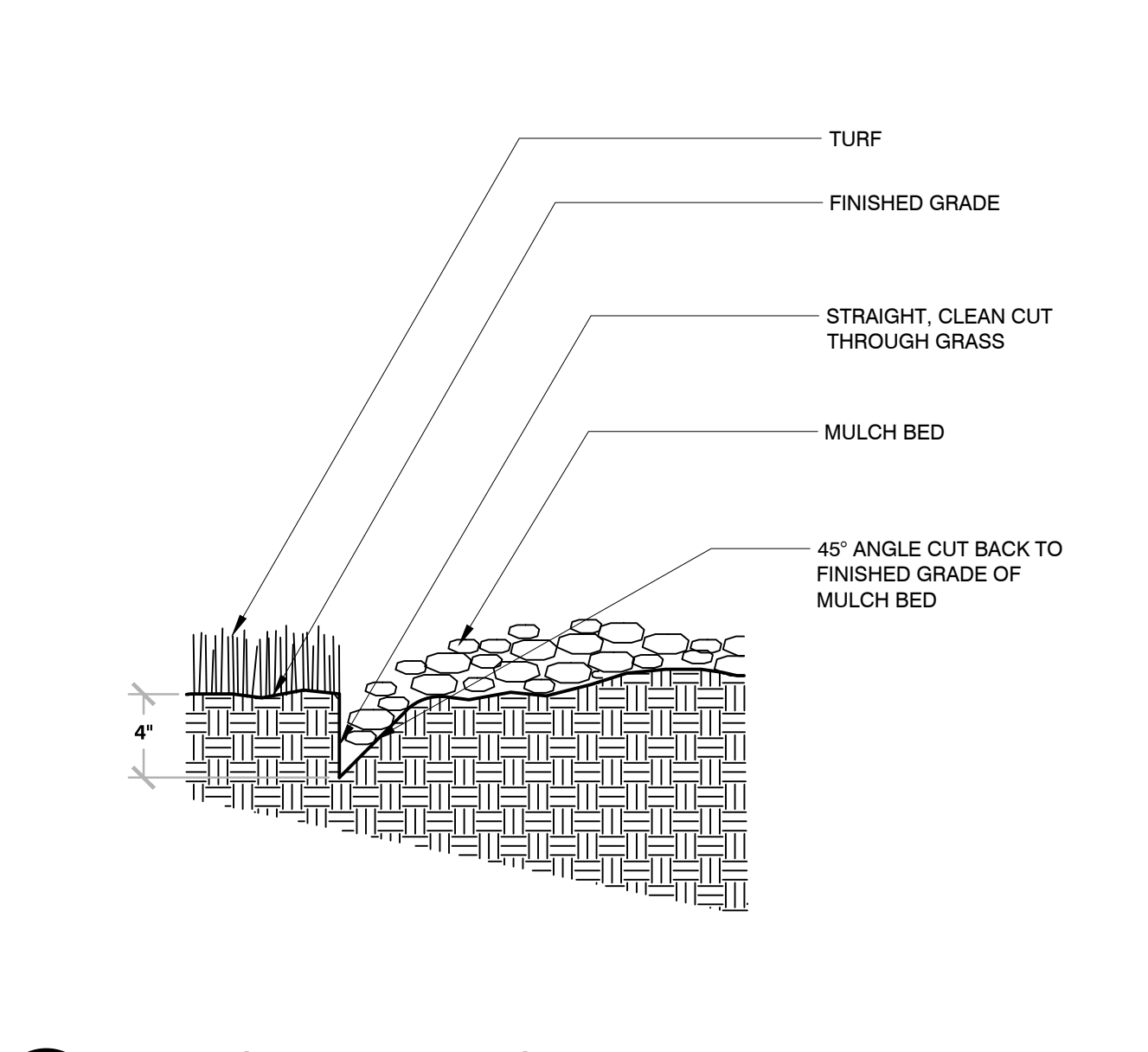
329343-01



2 SHRUB PLANTING

1/2" = 1'-0"

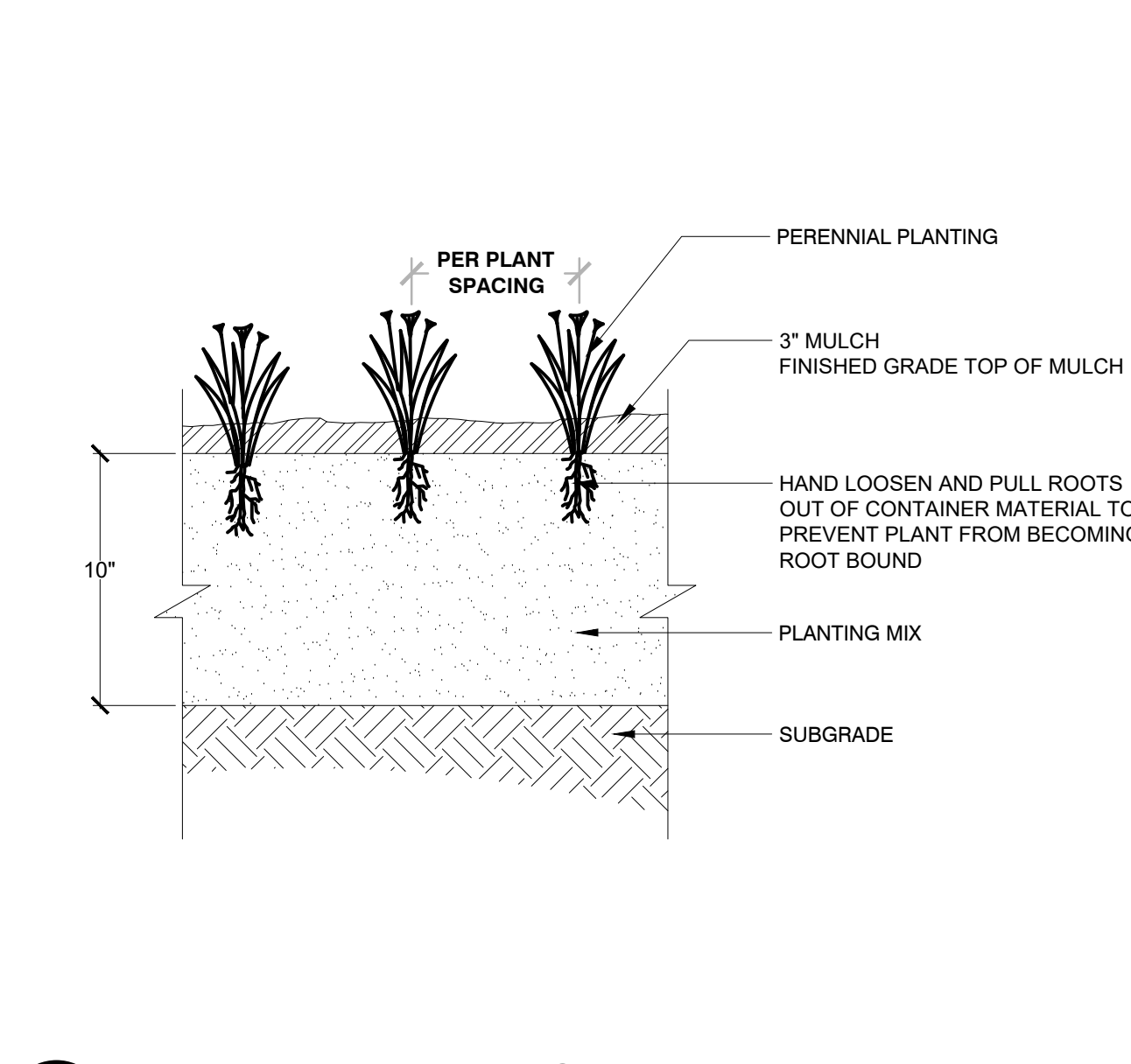
329333-02



3 TRENCHED BED EDGE

3/4" = 1'-0"

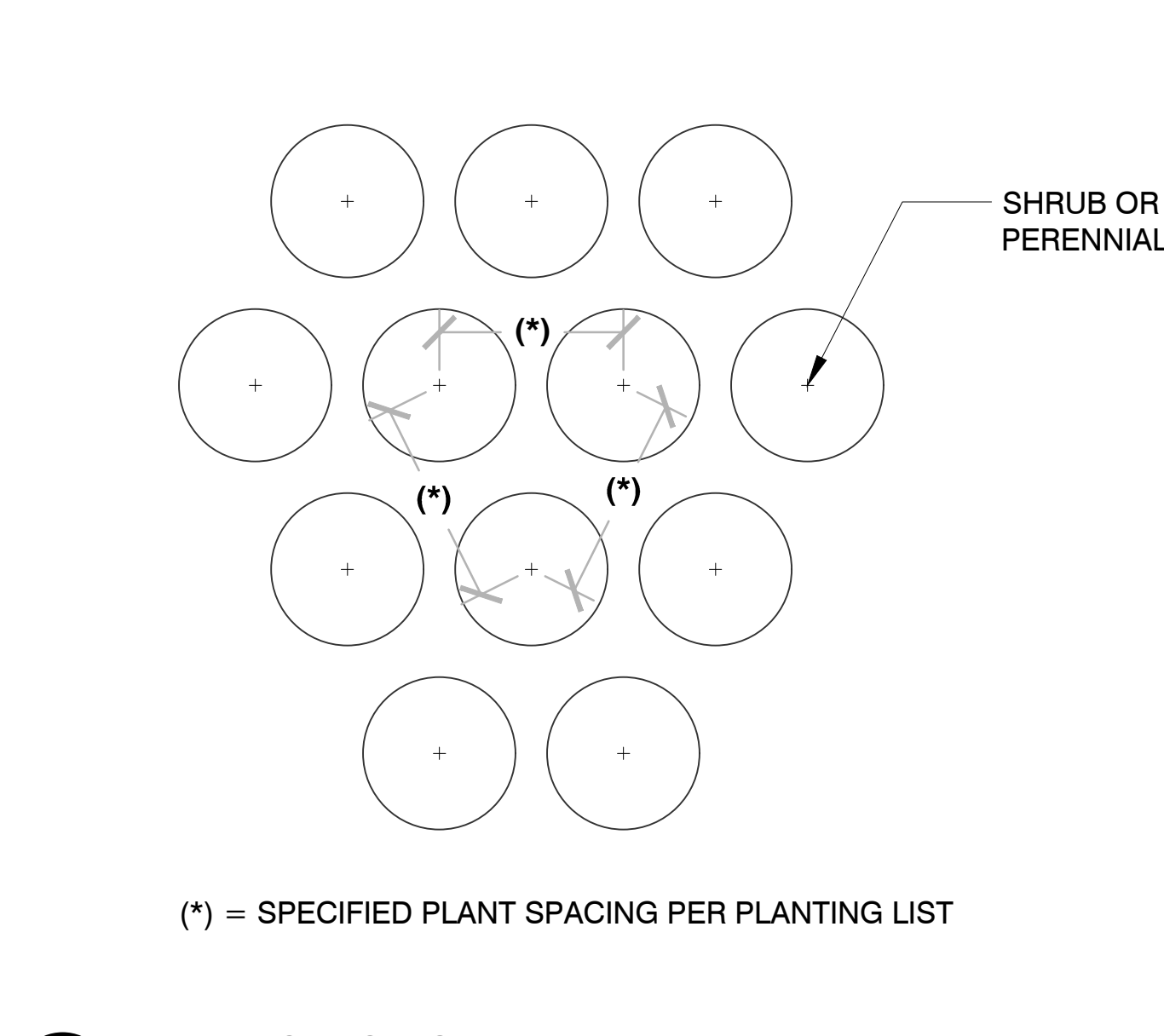
3293-03



4 PERENNIAL PLANTING

1" = 1'-0"

3293-01



5 PLANT SPACING

3/4" = 1'-0"

3293-02

(*) = SPECIFIED PLANT SPACING PER PLANTING LIST



PROJECT:

THE OAKS ON MARIA
STEVENS POINT
Maria Drive

OWNER:

POINTER PLAZA LLC

ARCHITECT:

KORB & ASSOCIATES
ARCHITECTS
648 N. Plankinton Avenue
Suite 240
Milwaukee, WI 53203

CIVIL ENGINEER:

PINNACLE
ENGINEERING GROUP
20725 Watertown Rd.
Suite 100
Brookfield, WI 53186

STRUCTURAL ENGINEER:

REYN ENGINEERING
INC.
507 S. 2nd Street
Suite 201
Milwaukee, WI 53204

GENERAL CONTRACTOR:

CATALYST
CONSTRUCTION
833 E. Michigan St.
Suite 1000
Milwaukee, WI 53202

DESIGN BUILD:

MECHANICAL,
ELECTRICAL,
PLUMBING,
FIRE PROTECTION.

DATE DESCRIPTION

Project No.

SCALE 1" = 20'

PHASE

DATE 08/03/2024

LANDSCAPE PLAN

L-1

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Administrative Staff Report

Amend Planned Development Conceptual Plan
Conditional Use Permit
Site Plan Review
1800 Maria Drive
July 1, 2024



Department of Community
Development

Applicant(s): - Brett Gerber, representing Pointer Plaza, LLC Staff: - Adam Kuhn, Associate Planner akuhn@stevenspoint.com Parcel Number(s): 281240829140022 Zone(s): “PD” Planned Development District Master Plan: - Commercial/Office/Multi-Family Council District: - District 11 Ald. Morrow Lot Information: - Frontage: 339.29 ft. - Depth: 521.68 ft. - Lot Size: 154,144 sq. ft. (3.539 ac.) Current Use: - Multi-Family Residential Applicable Regulations: 23.02(4)(b)(10) 23.02(2)(f)(5)(a) 23.2(2)(f)(5)(b) 23.02(4)(b)(1)(2)	Request - Public Hearing and action on a request from Brett Gerber, representing Pointer Plaza, LLC, to amend the adopted conceptual plan for the planned development of the property located at 1800 Maria Drive (Parcel ID 281240829140022), consistent with Ch. 23.02(4)(b)(10). - Public Hearing and action on a request from Brett Gerber, representing Pointer Plaza, LLC, for a conditional use permit to construct a multiple-unit apartment building on the property located at 1800 Maria Drive (Parcel ID 281240829140022), consistent with Ch. 23.02(2)(f)(5)(a). - A request from Brett Gerber, representing Pointer Plaza, LLC, for a site plan review to construct a multiple-unit apartment building on the property located at 1800 Maria Drive (Parcel ID 281240829140022), consistent with Ch. 23.02(2)(f)(5)(b) & Ch. 23.02(4)(b)(1)(2). Attachment(s) - Application - Plans Findings of Fact - The former K-Mart business has been demolished and the parcel has since been split into several lots. - One parcel, which fronts Maria Drive, has since been developed to accommodate an apartment complex. Two parcels front Division Street North to accommodate Cousins Subs and Tommy’s Car Wash. - In 2019, the former K-Mart parcel was rezoned to “PD” Planned Development to allow for increased flexibility in meeting key Zoning Code standards while maintaining a cohesive and quality site development. As part of the rezoning, the parcel abutting Maria Drive would be developed to contain two apartment buildings. - The subject property is also located within the “B-TID5” Tax Increment District 5. - Development within the “B-TID5” District is required to have a maximum 25-foot street setback off of Maria Drive. A street setback greater than 25 feet would require a conditional use permit. - The “B-TID5” District requires a Site Plan Review for new development. - Earlier this year, the applicant has submitted plans to construct a 67-unit multi-family apartment building on the subject parcel, to the east of the existing apartment building.
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8. As part of the proposed development, the applicant is requesting to split the subject parcel so that the proposed building is located on its own parcel.

Staff Recommendation

Approve the modification of an adopted conceptual plan for the planned development of an unaddressed parcel off of Division Street North (Parcel ID 281240829140021) with the requested deviations below:

1. A deviation in lot density requirements is permitted to allow for a 67-unit apartment to be constructed on a 50,040 square foot lot.
2. A minimum two-foot pavement setback shall be permitted from the east and west lot lines, while a zero-foot pavement setback shall be permitted from the south lot line.
3. 100 feet of street frontage shall be used to determine the maximum size of future wall signage and freestanding signage on the property.

Approve the conditional use permit to construct a multiple-unit apartment building on the property located at 1800 Maria Drive (Parcel ID 281240829140022), subject to the following conditions:

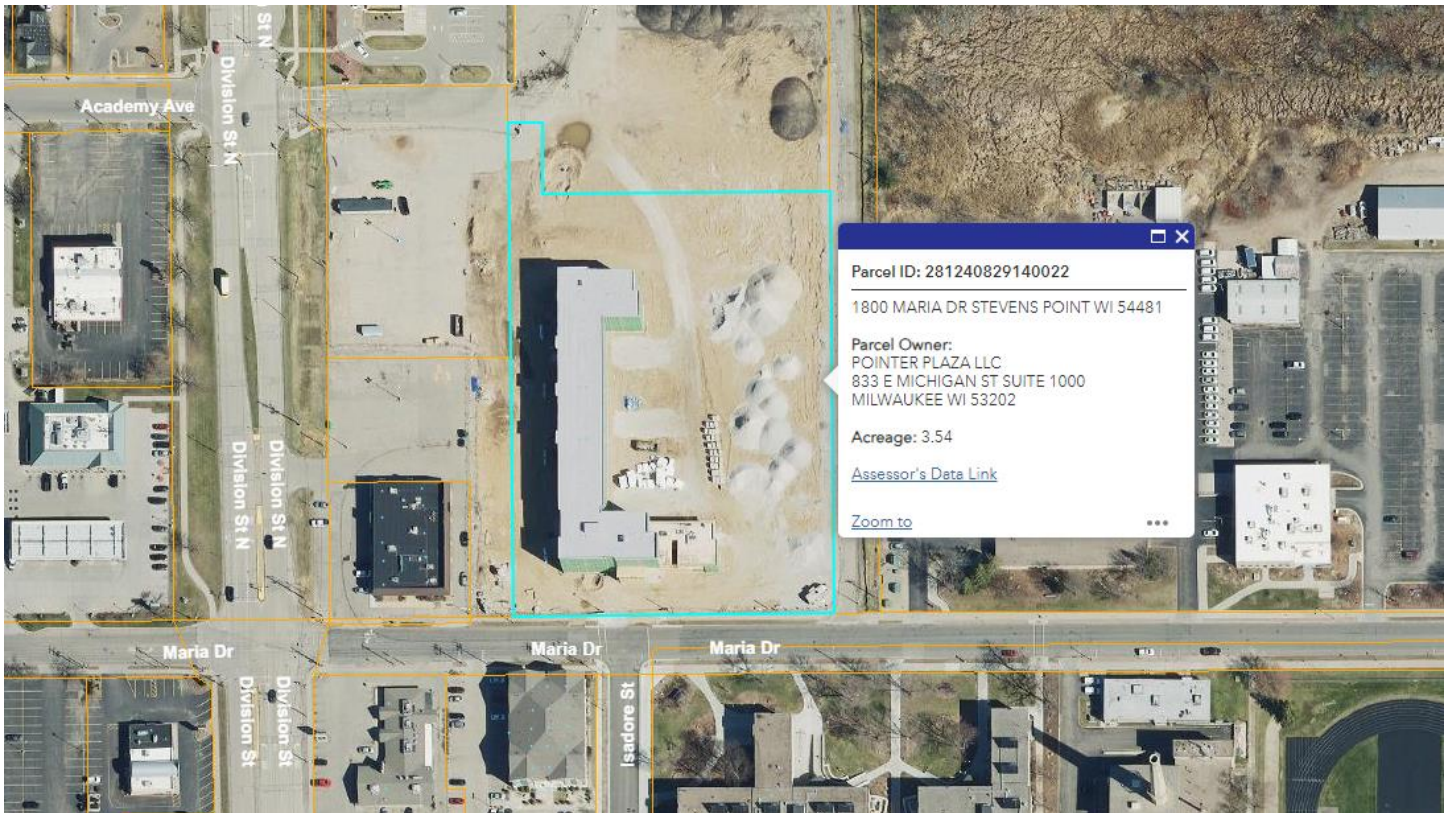
1. Staff shall have the ability to approve minor amendments to the approved plan.

Approve the site plan review to construct a multiple-unit apartment building on the property located at 1800 Maria Drive (Parcel ID 281240829140022), subject to the following conditions:

1. A certified survey map shall be produced to execute the split of the property into two lots. The certified survey map shall be reviewed by appropriate City departments meeting applicable lot split requirements.
2. An easement shall be recorded prohibiting the construction within ten feet of The Reserve student housing building.
3. The location of the dumpster enclosure shall be adjusted to not interfere with traffic visibility, subject to the review and approval of the Zoning Administrator.
4. Directional signage and/or pavement markings shall be provided directing traffic flow for the parking area immediately north of the building, subject to the review and approval of the Zoning Administrator.
5. A knox box shall be installed on the building that is reviewed and approved by the City Fire Marshal.
6. A signage plan shall be submitted to the Zoning Administrator for review and approval.
7. The proposed bicycle parking shall meet minimum location and dimensional standards as outlined in the City's Zoning Code, subject to the review and approval of the Zoning Administrator.
8. An erosion control permit shall be obtained and appropriate erosion control facilities shall be installed prior to the start of land disturbance, subject to the review and approval of the Utilities Department.
8. A building permit shall be obtained prior to the start of construction.

- | | |
|--|---|
| | 9. Staff shall have the ability to approve minor amendments to the site plan. |
|--|---|

Vicinity Map



Background

Overview: In May 2019, Stevens Point Housing LLC submitted plans to amend the proposed multi-family and commercial development at the former K-Mart site. The proposed development included two apartment buildings that are four stories in height, along with a shopping center along Division Street North that can service two tenant spaces. Below are renderings of the original design and the amended design that was approved by the Common Council. In 2021, this conceptual plan was amended to remove the proposed shopping center with two commercial establishments. These commercial establishments currently house Cousins Subs and Tommy's Car Wash.

The applicant has submitted plans to construct the second apartment building on the parcel located at 1800 Maria Drive. The proposed apartment building, standing four stories in height and providing 67 housing units for low-income individuals, would be situated directly to the east of the existing apartment building. As the subject property is currently zoned "PD" Planned Development, the City's Zoning Code allows for certain deviations from an approved conceptual plan to be approved administratively. The following explains the rules for amending an adopted conceptual plan:

Ch. 23.02(4)(2)(10) Modification of Adopted Concept Plan

The Administrator is authorized to approve minor modifications to an approved concept plan. All modifications not listed as minor below shall be considered by the Common Council consistent with the original approval of the PD. The following modifications shall be considered minor:

- a) Up to a 10 percent increase or any decrease in gross floor area of a single building.
- b) Up to a 10 percent reduction or any increase in the approved setbacks from exterior property lines.
- c) Relocation of parking areas, internal streets or structures where such relocation occurs more than 100 feet from exterior property lines.

Should the proposed development be approved, the applicant is requesting to split the subject parcel so that the proposed building would be situated on its own lot. The proposed lot would be 50,040 square feet in size. Due to the splitting of the subject property, a modification in approved setbacks would occur which would warrant the Plan Commission to consider amending the approved conceptual plan. As part of the conceptual plan amendment, the applicant can request the Plan Commission for specific deviations from Zoning Code requirements. Deviations being requested for the proposed development include density restrictions, pavement setback requirements and size allowances for signage.

Within the “PD” Planned Development District, land use restrictions are subject to the use allowances of the “B-4” Commercial District. While the “B-4” District classifies multi-family residential uses as a conditional use, the subject parcel is also located within the “B-TID5” Overlay District. Within this overlay district, multi-family residential land uses are explicitly referenced as being permitted by right. For uses that are considered both permitted and conditional on a property, the City’s Zoning Code states that said use shall nonetheless be permitted by right.

The “B-TID5” Overlay District, which encompasses properties along Division Street from Fourth Avenue to North Point Drive, has unique development restrictions to incite compact development that is situated closer to a street. For example, development along Maria Drive requires a minimum zero-foot street setback and a maximum 25-foot street setback. Requests to provide a street setback more than 25 feet would require a conditional use permit. The applicant is requesting a 34-foot setback from the south lot line. Please note that while the proposed south lot line does not directly abut Maria Drive, the City’s Zoning Code states that for landlocked parcels, the street lot line shall be the lot line that faces access to the lot (i.e., the three driveway aprons to the south of the proposed parcel).

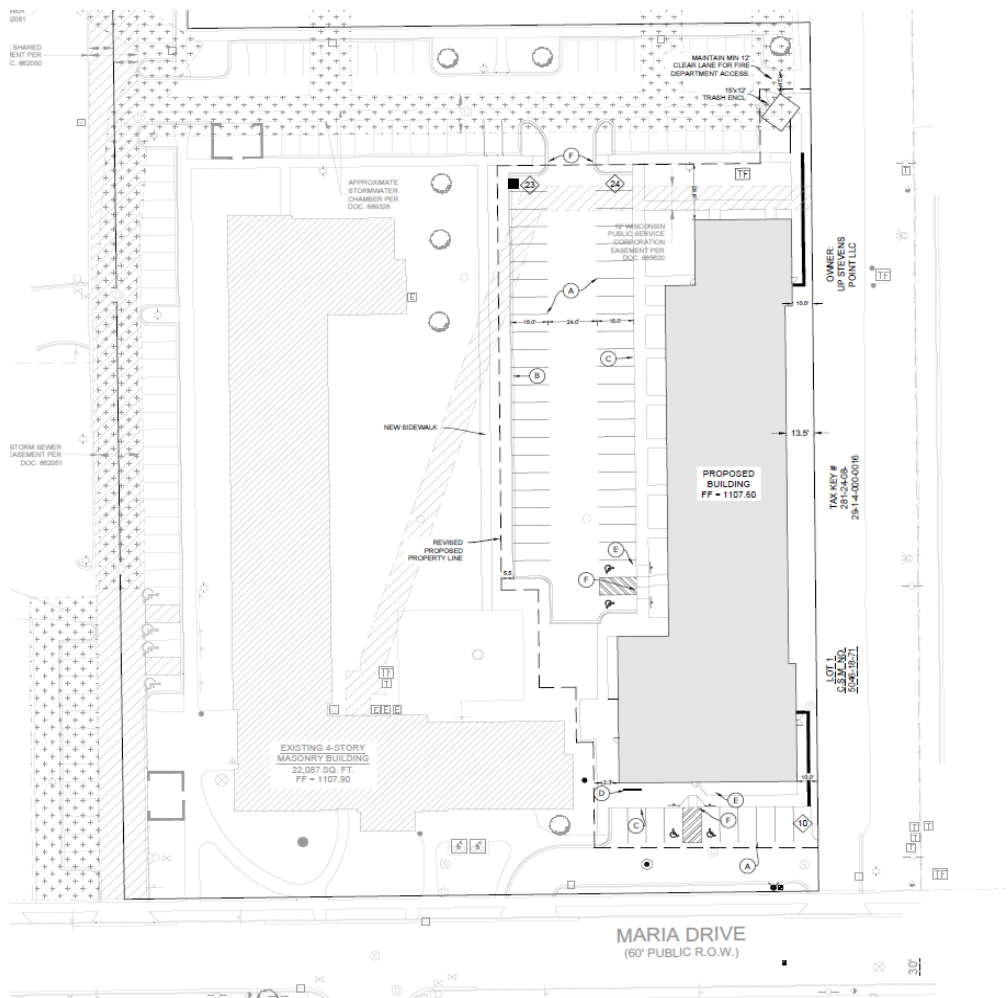
Lot Line	PDD Setback Requirement	B-TID5 Setback Requirement	Proposal
<i>Street</i>	25 feet	0-25 feet (CUP required if greater than 25 feet)	34 feet
<i>Side</i>	0 feet (5 feet if setback is provided)	0 feet	10 feet from east lot line; 12.3 feet off of west lot line
<i>Rear</i>	10 feet	10 feet	28.6 feet

Minimum performance standards of the “B-TID5” District:

USE	LOT AREA AND DENSITY	LOT WIDTH	HEIGHT OF STRUCTURE	DIVISION STREET SETBACK	OTHER STREET SETBACK	SIDE YARD	REAR YARD	PARKING
Permitted Uses	As determined by the Plan Commission and Common Council	As determined by the Plan Commission and Common Council	Per 23.02 (2) (d) 4. B-4 Commercial	Minimum of 0 ft., with a maximum of 5 ft.	Minimum of 0 ft., with a maximum of 25 ft.	Minimum of 0 ft., or 10 ft. if yard abuts a residence district	10 ft.	Parking stall ratios are exempt for all uses. All other standards in 23.01 (14) shall apply.
Conditional Uses				Greater than 5 ft.	Greater than 25 ft.			

Lastly, both amending a planned development conceptual plan and for any new development on a lot within the “B-TID5” Overlay District requires a site plan review.

Further development details are provided below and are scattered throughout this report.



Proposed Site Plan

1. Density and Lot Split.

Analysis: The applicant is requesting that the subject property be split to house one apartment building on each parcel. The created lot would be 50,040 square feet in size and would not have public street frontage. Please note that the City's Zoning Code requires new lots to have frontage off of either a public road or a private road. The private road situated to the east of the proposed apartment building would satisfy this requirement, along with the existing shared access agreement that exists for residents of this apartment building to utilize the private road.

Within the "B-TID5" District, minimum lot size, density and width requirements are determined on a case-by-case basis by the Plan Commission and Common Council. While minimum standards are not provided for the "B-TID5" District, it is important to base the proposed development on the minimum lot size, density and width requirements of the "B-4" Commercial District due to the property being zoned "B-4" Commercial before its rezoning to "PD" Planned Development. Within the "B-4" District, minimum density restrictions are based on the number of housing units provided in a multi-family development. Based on the 67 housing units proposed to be created, 94,450 square feet of lot size would be required. As part of the conceptual plan amendment, the applicant is requesting a deviation of density requirements to allow for the apartment building to be situated on a 50,040 square foot lot.

2. Building Height.

Analysis: The proposed building is 43' 11 1/4 " in height. Height restrictions as part of the "B-4" Commercial District requires a maximum height of 35 feet. Structures can exceed the 35' restriction, not to surpass 125' in height, if a fire prevention system exists that is reviewed and approved by the Fire Department.

Findings: Given that both structures fall above the 35-foot threshold, a fire prevention system is required.

3. Setbacks.

Analysis: The following are the setback requirements for the "B-TID5" District—a minimum zero-foot setback off of Maria Drive (not to exceed 25'), a minimum zero-foot side yard setback and a minimum ten-foot rear yard setback.

Findings: The table on the previous page highlights the proposed setbacks. As a setback off of the south lot line exceeds 25 feet, a conditional use permit would be required.

4. Parking.

Analysis: The proposed development includes 53 additional parking spaces, of which four are designed for van accessible use.

Findings: Properties that fall within the "B-TID5" District are exempt from meeting parking stall ratios for all types of uses. All other parking lot requirements (e.g., stall dimensions, aisle widths, etc.) still apply. Given that the applicant is proposing a ratio of .85 parking stalls per housing unit, along with the property's close proximity to multi-modal forms of transportation, staff believes that the number of parking stalls proposed are adequate.

Please note that as more than 20 parking stalls are provided, bicycle parking would be required and designed in accordance with the City's Zoning Code.

5. Landscaping.

Analysis: A landscaping plan has been provided by the applicant. With the how the parking lot is designed, terminal islands are also proposed to be landscaped with a variety of shrubs. Other trees, shrubs and ornamental grasses line the perimeter of the parking lot and building.

Findings: Due to the location of shrubs along the entrance to the southernmost parking area, it will need to be continually maintained to ensure vision obstructions for motorists and pedestrians do not occur. Based on the amount and variety of landscaping that is provided, staff believes that the parking lot is better shielded from public view and provides a high-quality site design.

6. Access and Internal Traffic Flow.

Analysis: A shared driveway exists near the east lot line to provide access off of Maria Drive. An existing shared access agreement exists, which the owner of the subject property is a party to the agreement. An existing driveway exists along Maria Drive that will provide access to proposed parking stalls south of the apartment building, along with assisting with queuing operations as necessary. Given the parking lot layout of the apartment building to the west of the development area, residents could utilize these existing areas for access to the proposed site.

Findings: Based on the submitted site design, staff believes that access is adequate.

7. Utilities.

Analysis: Utilities exist within the Maria Drive Right-of-Way to serve the proposed development.

Findings: The Public Utilities Department, overall, has expressed support with the proposed site utility plan and stormwater management report.

8. Fire Hydrants.

Analysis: One additional fire hydrant is proposed to the south of the apartment building.

Findings: Staff believes that existing and proposed fire hydrants provide adequate fire protection to the building.

9. Lighting.

Analysis: Lighting is planned to accompany the proposed development. A photometric plan has been submitted that shows an average illumination of 1.83 footcandles within the parking area south of the proposed building, while an average of 1.94 footcandles are provided within the parking lot west of the building. Along Maria Drive, less than one footcandle of light intensity is proposed at the lot line.

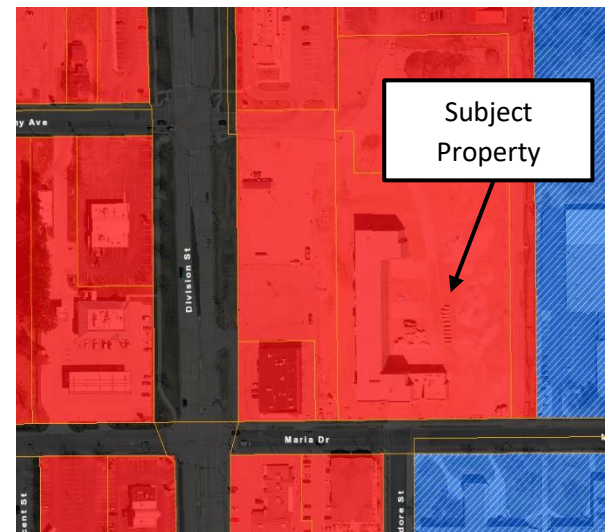
Findings: Staff believes that the lighting proposed is sufficient and will not spill over onto neighboring properties.

Standards of Review – Amend PD Conceptual Plan

1. The proposed PD is consistent with the pertinent elements of the City of Stevens Point Comprehensive Plan and any other adopted plans.

Analysis: The City’s 2005 Comprehensive Plan Future Land Use Map identifies the subject property for commercial, office and multi-family residential uses. A multi-family residential building is proposed with a commercial suite located on the first floor, near Maria Drive.

Findings: The proposed conceptual plan and use of the property would be consistent with the intent of the Comprehensive Plan. Section 8.4 of the City’s Comprehensive Plan provides objectives to allow for compact and contiguous growth, specifically by applying sound site design and landscaping. As a quality site design is a requirement for development in the “B-TID5” Tax Incremental District No. 5 (see the Site Plan Review section), staff believes that the proposed use will be constructed in a way to meet this objective.



Section 8.4, Goal B:

Compact and Contiguous Growth. Accommodate new development on the City’s

fringe in areas relatively contiguous to existing developed areas that allow efficient extension of public services and roads and have minimal impact to sensitive environmental resources. This goal may be modified as needed to take advantage of opportunities to develop land that is near the City but not necessarily contiguous. Certain owners who are contiguous may not be ready to develop their lands due to financial or life decisions. When owners within the City growth area are prepared to develop their properties, the City should not be forced to wait for contiguous owners to make land available for expansion.

Objective B2: The City should remain receptive to new or innovative ideas for quality residential, commercial, and industrial development within the City. **It should provide flexible codes which would allow Planned Development Districts (PDD’s),** Traditional Neighborhood Development, a variety of lot sizes, **mixed zoning patterns,** cluster housing, conservation subdivisions, and other techniques to provide for affordable, neighborhood-centered designs that are environmentally sensitive to their site.

Objective B3: The City should encourage safe and attractive development; ensure that the development site is physically suited to the proposed use; and **apply sound site design and landscape principles in the planning, layout and construction of new development.** “Buffering” techniques should be incorporated as a means of promoting compatibility between land uses and diminishing the potential for land use conflicts.

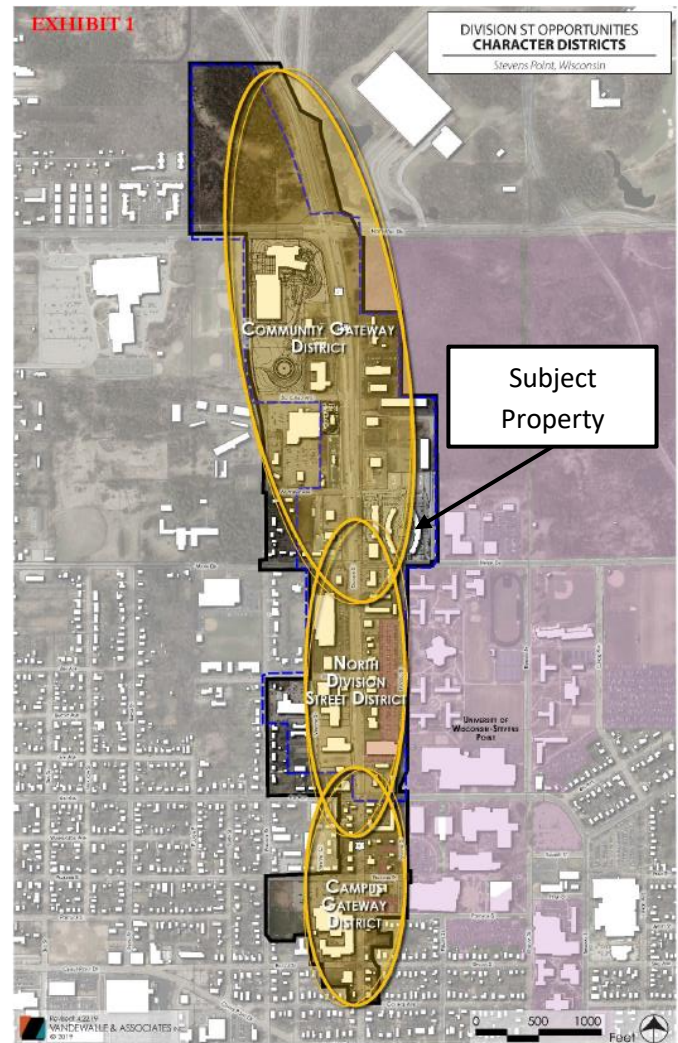
Another planning document to discuss in relation to the proposed development is the Division Street Targeted Area Master Plan. The purpose of the Master Plan is to present a vision and guiding principles for the future development of the Division Street Corridor. The targeted area of the Master Plan stretches from Main Street to the City’s northern limits along Division Street.

Within the latest version of the Master Plan, future development is to be scored and ranked based on the following prioritization criteria:

1. *Can be accomplished relatively cost effectively, quickly, and easily, and which create an immediate impact.*
2. *Are highly visible and show commitment to the Project Area, potentially stimulating private-sector investment.*
3. *Can generate momentum for other priority projects to advance or are a necessary first step in advancing a larger objective or priority project.*
4. *Address an unmet need for improved public spaces/amenities.*
5. *Improve functionality (e.g., parking, walkability, wayfinding).*
6. *Have outside available funding source(s) that can offset the costs of the project.*
7. *Have potential to serve as a catalyst that will accelerate other identified projects.*
8. *Have identified partners, developers, and/or property owners who are willing and able to participate in the program or project.*
9. *Advances recommendation of past planning processes.*
10. *Have strong support from the community in this planning process.*

Similarly, the Master Plan outlines objectives to meet the above criteria. While staff would contend that some of the above prioritization criteria would not be met for the proposed development (e.g., the proposed development does not incorporate wayfinding), key objectives of the Master Plan are met. The following outlines how the proposed development meets certain objectives:

1. "Add banners, street trees and other decorative elements." Landscaping in front of the apartment building is proposed, both at the base of the building and to limit some visibility of off-street parking that is provided. A retaining wall is proposed to provide some decorative elements at the southeast corner of the building.
2. "Connect sidewalk system, enhance crosswalks/signalization with accompanying pedestrian-scale lighting." Internal sidewalks are proposed to promote connectivity between the proposed apartment building and adjacent buildings (e.g., Cousins Subs).
3. "Transition from a highway cross-section to a 'Community Corridor' at Maria Drive." The intent of this objective is to transition from a highway-oriented development pattern near the roundabout to an area



that supports retail needs in a more urban format. With the development of an apartment building, it will strengthen existing retail options in its near vicinity.

4. "Revise parking to create buffer landscaping adjacent to sidewalks." Perimeter landscaping within the parking lot is proposed to separate the parking stalls with adjacent sidewalks.

Analysis: Staff believes that the proposed development is consistent with long-range planning documents that apply to the subject area.

2. The proposed planned development is consistent with the standards and uses of the context area within which it is located.

Analysis: The proposed building is set back from side and rear yard property lines to not create any non-conformities if the property were to be rezoned in the future. The "B-TID5" District requires a zero-foot side yard setback and a 10' rear yard, both met with the proposed development. The street setback provided from Maria Drive exceeds the maximum allowed within the "B-TID5" Overlay District.

A key deviation that is being requested relates to pavement setbacks. Within the "B-TID5" District, a minimum 5' pavement setback is required from all property lines. Proposed hardscape to the south, east and west of the building would encroach within the required setback. As part of the conceptual plan amendment, the applicant is requesting a deviation from this standard.

Findings: Although lesser pavement setbacks are requested, additional safeguards and reviews are required given the property's planned development zoning and location in the "B-TID5" District.

3. The proposed planned development meets the requirements of this zoning ordinance.

Analysis: The construction of an apartment building allows for a unique opportunity to better define Business 51 as a commercial corridor in the city, with additional residents being located in this area to support existing retail options. Within the "B-TID5" Overlay District, multi-family residential housing is permitted by right. The proposed structure meets minimum requirements of the Zoning Code provided the amendment conceptual plan is approved with the requested deviations and that the conditional use permit is granted.

Findings: Staff believes that this standard is met.

4. The proposed planned development will reinforce the existing or planned character of the neighborhood.

Analysis: Direct access to the property will be provided off of Maria Drive, along with a shared driveway that is located to the east of the proposed development.

Findings: The frontage, depth and access for the proposed development is consistent with nearby properties zoned for commercial and multi-family uses.

5. The site is appropriate for the development allowed in the proposed planned development.

Analysis: The proposed development is likely to enhance the surrounding neighborhood by offering both commercial and residential development along the Division Street corridor. Given that the proposed development arguably provides greater conformity to the regulations and intent of the “B-TID5” District, staff believes that the property is appropriate for the intended development. For example, the intent of the “B-TID5” District is “to protect the character and maintain the stability of commercial areas within Division St. TID 5 and environs, and to promote the orderly and beneficial redevelopment of such areas.” By providing an apartment building on the property, the intent of the “B-TID5” District is met.

Findings: Redeveloping the subject property provides additional commercial character to Division Street and better defines it as a commercial corridor. Additionally, the property’s location to the Downtown, University of Wisconsin-Stevens Point, parks and other community assets are desirable to potential consumers. As such, staff believes that the Planned Development District is compatible with adjacent land uses and is appropriate for the site.

6. The planned development demonstrates a higher quality of site design that is more sensitive to the existing context, both built and natural, than is possible under other available zoning districts.

Analysis: The developer has provided a landscaping plan that makes the property more aesthetically pleasing. Additionally, the building façade intentionally designed to provide variation in building height and negate the appearance of a blank wall by incorporating differing color schemes, windows and overhangs.

Findings: The developer has demonstrated a high quality of thought in the site plan for the proposed development. A unique development is proposed that would revitalize the property and add to the overall character of the neighborhood.

7. Public facilities and services including but not limited to schools, roads, recreation facilities, wastewater treatment, water supply and stormwater facilities are adequate for the development allowed in the proposed planned development.

Analysis: Public facilities will not be negatively impacted by the proposed development. Existing utilities and utility infrastructure are sized appropriately to handle additional capacity above and beyond what the proposed development will require. By having a shared driveway exist along the east lot line, staff believes that traffic spillage onto Maria Drive should not be negatively impacted due to the proximity of other neighborhood streets feeding towards Division Street and Maria Drive.

Findings: This standard is met.

8. The planned development will not substantially or permanently injure the appropriate use of adjacent conforming properties.

Analysis: Several of the surrounding properties are nonconforming as it does not meet specific performance standards of the “B-4” Commercial District (e.g., lot width, lot size, setback requirements, etc.). While an apartment building is a permitted use on the property, performance standards relating to the building or lot are typically not met. As such, the proposed development has been requested to aid a more distinct commercial corridor that supports this area of Stevens Point.

Findings: The proposed development should not be injurious to the use of the existing property adjacent to the site or within the neighborhood.

Standards of Review – Conditional Use Permit

1. **The establishment, maintenance, or operation of the use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

Analysis: The request is to allow for a building setback off of the south lot line that is greater than 25 feet. While the proposed development is one of higher density, additional safeguards and regulatory review are required to make it less intrusive and detrimental to the surrounding neighborhood.

Findings: Staff does not believe the proposed conditional use permit would be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare in part due to the location of other multi-family uses directly north of the subject property. For example, recent planned development projects (e.g., Bantr apartments, Convent redevelopment, etc.) allows for a greater compatibility of uses and lot intensity within the broader Division Street Corridor.

2. **The use will not be injurious to the use and for the purpose already permitted, nor substantially diminish and impair property values.**

Analysis: Multi-family residential uses are permitted by right within the “B-TID5” Overlay District. Other multiple-family apartment complexes exist within the near vicinity of the subject property.

Findings: The applicant will be required to obtain proper building permits for the intended development. The proposed use will arguably have a lesser impact among adjoining property owners due to the request to deviate from density requirements. Additionally, use and aesthetic requirements as outlined within the “B-TID5” District ensures that developed with a high-quality site design takes place.

3. **The establishment of the use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

Analysis: The respective area is in an established and developed area of the City and has been used as a motel for several decades.

Findings: See standards one and two above. Given the redevelopment of the property to provide high-density mixed-use development, staff believes that the request likely preserves property values and promotes current and future uses that are permitted in the region.

4. **The exterior architectural appeal and functional plan of any proposed structure will not be at variance with either the exterior architectural appeal and functional plan, and scale of the structures already constructed or in the course of construction in the immediate neighborhood or in the character of the applicable district so as to result in a substantial or undue adverse effect on the neighborhood.**

Analysis: The exterior architectural appeal and function plan of the proposed building is uniquely designed to meet the aesthetic requirements of the “B-TID5” District. For example, the “B-TID5” District requires that “in no case shall the front facade of the building consist of a blank wall or a series of garage doors. Windows should play a prominent



role in the facade design.” As shown within the below renderings, windows are provided for each housing units to provide a uniform fenestration pattern along all building walls. A mixture of synthetic siding and brick is used to provide variation in building material that is used, while different colors are used to intentionally accent building walls that are visible from a public right-of-way.

Findings: This standard is met.

5. Adequate utilities, access roads, drainage and/or facilities have been, or are being, provided.

Analysis: Utilities will be provided off of Maria Drive to service the proposed development. Access to the apartment building will be off of shared driveway to the east of the building, internal drive-thru aisle to the south of the building, along through existing parking lot aisles serving the existing apartment building to the west. A stormwater management report has been submitted to the Public Utilities Department for review. No issues exist pertaining to the amount of impervious surfacing added within the subject area, along with an existing storm sewer easement agreement that applies to the subject parcel and a few adjacent parcels.

Findings: This standard is met.

6. Adequate measures have been, or will be taken, to provide ingress and egress so designed to minimize traffic congestion in the public streets.

Analysis: The respective area is in an established area of the City with appropriate vehicular, pedestrian and bicycle access along Maria Drive. Bicycle parking will be provided on the property in accordance with Zoning Code requirements. Staff believes that the shared driveway to the east of the apartment building is of sufficient size to handle increased traffic volume.

Findings: Given the proposed use of the property and range of multi-modal forms of transportation offered, staff believes that access in and out of the site is appropriate.

7. The proposed use is not contrary to the objectives of any duly adopted land use plan for the City of Stevens Point, any of its components, and/or its environs.

Analysis: The City’s 2005 Comprehensive Plan Future Land Use Map has identified this property for commercial, office and multi-family residential land uses. The subject property is zoned “PD” Planned Development. According to the City’s Zoning Code, the “PD” District is intended to “allow for deviation from the standards of this zoning ordinance in exchange for higher quality development.” The subject property is subject to the land use requirements of the “B-4” and “B-TID5” Overlay Districts.

Findings: The proposed use is compatible with the uses allowed within the “B-4” and “B-TID5” Districts. Given that the subject property is currently utilized for multi-family residential purposes and that neighboring lots provide a

range of residential and commercial uses, staff believes that enough safeguards exist to prevent any detrimental impacts to surrounding properties.

- 8. The use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.**

Analysis: The conditional use permit is asking to allow for a setback off of Maria Drive greater than what is allowed within the “B-TID5” District.

Findings: The regulations of the Planned Development District and “B-TID5” District are met for the proposed development provided that the conditional use permit is allowed.

- 9. The proposal will not result in an over-concentration of high density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective services systems of the community.**

Analysis: While additional multi-family residential uses exist near the subject property, the proposed use will not dramatically change the character of the neighborhood from previous uses on the property. While the applicant is requesting a deviation from City density restrictions, careful conversations were had with the applicant to ensure that not too much of a deviation was asked for that could hinder our school and protective service systems. Therefore, no significant impacts on the neighborhood, school system, and the social and protective services systems of the community are likely to occur.

Findings: This standard is met.

- 10. Principal – Applications for exclusive multi-family residential uses: The view from the street should maintain a residential character. The view should be dominated by the building and not by garages, parking, mechanical equipment, garbage containers, or other storage.**

Analysis: While the proposed building has four stories, the development will provide a more uniform streetscape where buildings are aligned and closer to the street. Additionally, the height of the proposed building will be similar to nearby buildings (e.g., The Reserve, Bantr, etc.).

Findings: This standard is met.

- 11. Access to the site shall be safe.**

Analysis: Vehicular, pedestrian and bicycle access is off of Maria Street.

Findings: This standard is met.

- 12. There shall be adequate utilities to serve the site.**

- a. The Public Works Director, Police Chief, and Fire Chief shall determine whether there is adequate sanitary sewer, potable water, storm drainage, street capacity, emergency access, public protection services, and other utilities to serve the proposed development. They shall review the plan to ensure safety and access for safety vehicles.**

Analysis: The property currently exists with utilities proposed to service the building off of Maria Drive. Appropriate access exists to and within the proposed lot to ensure safe navigability for emergency services.

Findings: This standard is met.

13. The privacy of the neighboring development and the proposed development shall be maintained as much as practical. Guidelines:

a. Mechanical equipment including refuse storage shall be screened from neighboring properties.

Analysis: Refuse is planned to be stored on site, situated north of the building. The applicant will need to rotate and push back the proposed dumpster enclosure to ensure that it does not impair traffic flow within the parking lot.

Findings: This standard is met.

b. Lighting shall be located to minimize intrusion onto neighboring properties.

Analysis: Lighting is planned to accompany the proposed development. As stated earlier, the submitted photometric plan shows that significant light pollution toward adjacent properties and Maria Drive is not anticipated.

Findings: This standard is met.

c. Sources of noise shall be located in a manner that minimizes impact to neighboring properties.

Analysis: The use will be operating within the confines of the building and property.

Findings: The use should not create excessive noise.

14. Principal – Applications for exclusive multi-family residential uses. Landscaping shall be provided or existing landscape elements shall be preserved to maintain a sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.

Analysis: Due to the property's location within the "B-TID5" District, additional emphasis is given towards landscaping and is a standalone performance metric when conducting a Site Plan Review of the proposed development. The applicant has submitted a landscaping plan to provide sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.

Findings: This standard is met.

Standards of Review – Site Plan Review

1. Buildings are aligned and close to the street. Buildings form the space of the street.

Analysis: At its closest point, the proposed building is situated 56 feet from the Maria Drive Right-of-Way. As noted earlier, while the proposed lot will not directly abut the Maria Drive Right-of-Way, the south lot line is used to measure minimum street setback requirements. Off of the south lot line, a maximum of 25 feet is allowed. For building setbacks more than 25 feet, a conditional use permit.

Findings: While the proposed building is set back farther from Maria Drive, activity is purposely brought within the lot by way of the parking aisle to the south.

2. **Buildings oversee the street with active fronts as opposed to blank fronts. The first floor and upper floors should include windows as well as entrances. Wider entrances, door framing, canopies, and other techniques should be used to identify the entrance.**

Analysis: The proposed structure is four stories in height.

Findings: As shown within the below renderings, windows are provided for each housing units to provide a uniform fenestration pattern along all building walls. A mixture of synthetic siding and brick is used to provide variation in building material that is used, while different colors are used to intentionally accent building walls that are visible from a public right-of-way.

3. **Property lines are physically defined by buildings or street walls.**

Analysis: Please see the above table denoting proposed building setbacks from all property lines.

Findings: The apartment building is intentionally designed so that it follows adjacent property lines, particularly the east lot line along the shared driveway. Staff believes that this standard is met.

4. **Building facades facing the street shall exhibit a high level of architectural design. In no case shall the front facade of the building consist of a blank wall or a series of garage doors. Windows should play a prominent role in the facade design. All building materials to be used shall express their specific properties. For example, heavier more permanent materials (masonry) support lighter materials (wood).**

Analysis: Please see the above descriptions of the architectural details provided on the building.

Findings: Staff believes that the proposed building exhibits a high level of architectural design.

5. **Two or more story buildings are preferred over one story buildings.**

Analysis: The proposed building is four stories in height.

Findings: This standard is met.

6. **Landscaping shall be of high quality and installed at a rate that is appropriate that enhances the proposed site and surrounding properties.**

Analysis: A landscaping plan has been provided by the applicant. With the how the parking lot is designed, terminal islands are also proposed to be landscaped with a variety of shrubs. Other trees, shrubs and ornamental grasses line the perimeter of the parking lot and building.

Findings: Due to the location of shrubs along the entrance to the southernmost parking area, it will need to be continually maintained to ensure vision obstructions for motorists and pedestrians do not occur. Based on the amount and variety of landscaping that is provided, staff believes that the parking lot is better shielded from public view and provides a high-quality site design.

7. Vehicle storage, garbage, and mechanical equipment are kept away from the street and screened from public view.

Analysis: The proposed development includes 53 additional parking spaces, of which four are designed for van accessible use. Properties that fall within the “B-TID5” District are exempt from meeting parking stall ratios for all types of uses. All other parking lot requirements (e.g., stall dimensions, aisle widths, etc.) still apply. Given that the applicant is proposing a ratio of .85 parking stalls per housing unit, along with the property’s close proximity to multi-modal forms of transportation, staff believes that the number of parking stalls proposed are adequate.

Refuse is planned to be stored on site, situated north of the building. The applicant will need to rotate and push back the proposed dumpster enclosure to ensure that it does not impair traffic flow within the parking lot.

Findings: This standard is met.

8. Parking (not including on-street parking) should be away from the street and screened from public view.

Analysis: Most off-street parking is situated behind the building and away from public view. One row of parking is situated in front of the building along Maria Drive. While this row of parking is close to the street, some existing landscaping exists to the south of the parking lot aisle which would, at maturity, assist in shielding its view.

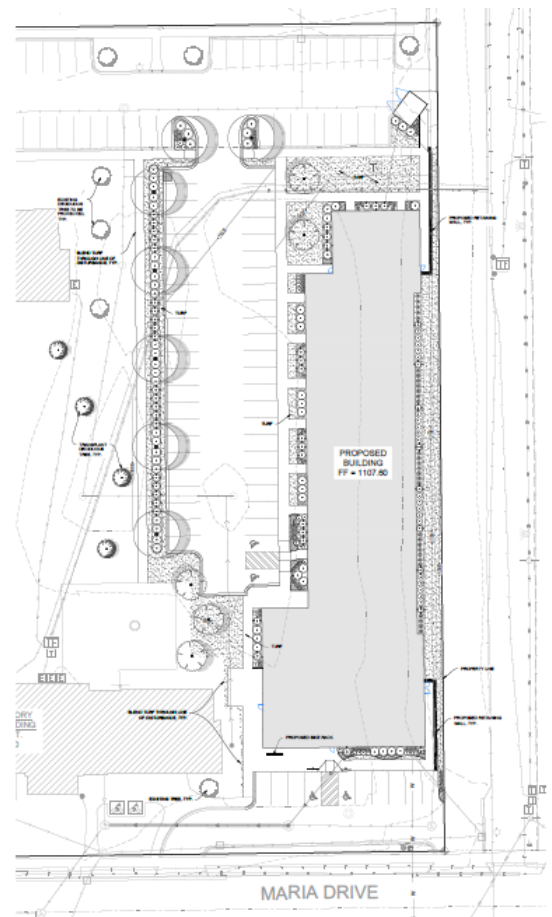
Findings: This standard is met.

9. The building design is coordinated with the street space. The city may require the improvement of the streetscape adjacent to the property including installation of trees, paving, sidewalk, lighting, street furniture, etc. Street trees are limited to a list approved by the City Forester.

Analysis: While the building is set back farther from Maria Drive, the site was intentionally designed to spur activity within the area between street and building. For example, the commercial suite located on the first floor of the building is intentionally located on the south end of the building to promote pedestrian and bicycle traffic to this space.

Findings: This standard is met.

10. Safety: Buildings should be close to the street but should acknowledge their neighboring building setbacks. Safety of entrances as well as vision around corners should be addressed in the review process.



Analysis: The proposed buildings meet setback requirements in the “B-TID5” District either by right or via the conditional use process. Sufficient access exists to and within the property for fire/EMS vehicles.

Findings: This standard is met.



MEMORANDUM

To: Plan Commission

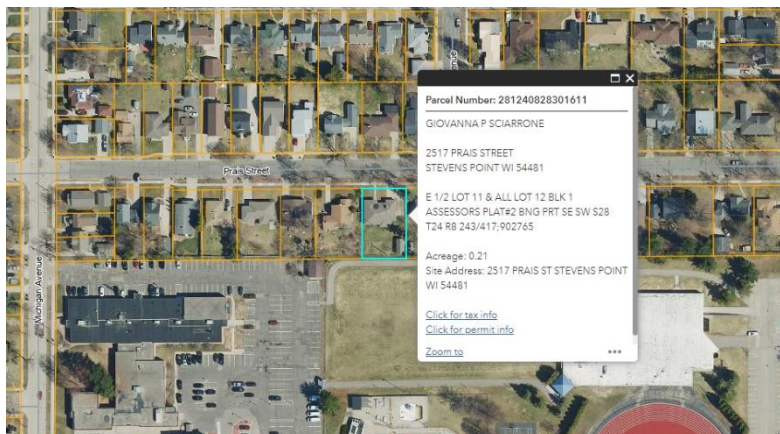
From: Adam Kuhn, AICP
Associate Planner / Zoning Administrator

Date: August 5, 2024

RE: **Property Acquisition Request – 2517 Prais Street**

Background: The City's Parks, Recreation and Forestry Department is requesting to purchase the property located at 2517 Prais Street. As found within the [2023-2028 Stevens Point Comprehensive Outdoor Recreation Plan](#), this property has been identified for strategic acquisition due to its adjacency to Goerke Park and the K.B. Willett Arena. The foreseeable future use of the property is to rent out the house.

Pursuant to WI Stats. 62.23(5), the matter before the Plan Commission is to review the acquisition of the property only. Staff recommends approval as presented.



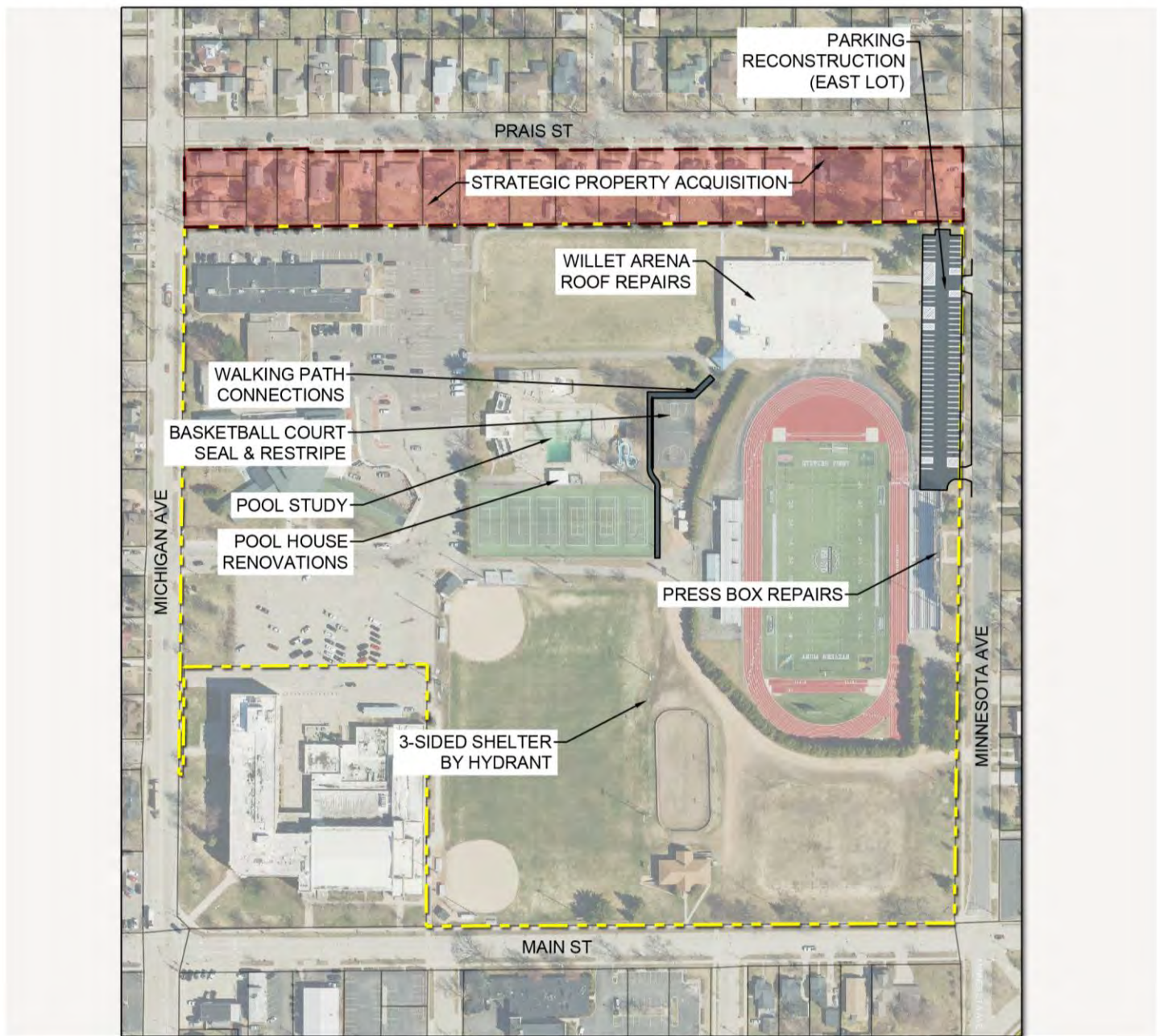
Parcel Information: 2517 PRAIS ST STEVENS POINT WI 54481

Acreage	0.21
Estimated Fair Market Value	255,400
Improvements	223,500
Land Value	27,000
Legal Description	E 1/2 LOT 11 & ALL LOT 12 BLK 1 ASSESSORS PLAT#2 BNG PRT SE SW S28 T24 R8 243/417;902765
Mailing Address	2517 PRAIS STREET STEVENS POINT WI 54481
Owner Name	GIOVANNA P SCIARRONE
Co-Owner Name	
PIN	281240828301611
Township	24N
Range	8E
Section	28
School District	STEVENS POINT AREA SCHOOL DISTRICT
Parcel Address	2517 PRAIS ST STEVENS POINT WI 54481
Total Taxes Due	4,704
Total Value	250,500

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15. GOERKE MEMORIAL PARK

Community Park
28.80 acres



RECOMMENDATIONS SUMMARY:

- Park Master Plan Allowance
- Strategic Property Acquisition (as opportunity arises)
- Parking Reconstruction (west lot)
- Parking Reconstruction (east lot)
- Pool Study
- Walking Path Connections
- Basketball Court Seal & Restripe
- Willet Arena Roof Repairs Allowance
- Stadium Pressbox Roof Repairs Allowance
- Pool House Renovations/Repairs Allowance
- Determine Long Term Future of Parker Building/ Warming House
- Three-sided Structure by Ice Rink Hydrant
- Signage Allowance

Community Development Report, February 2024

Construction Report

New Construction	# of Permits	Location	Declared Valuation	Fees
Single Family	1	1430 Torun Rd #322	\$77,000.00	\$683.00
Two-Family	1	5797/5799 Sandpiper Dr	\$350,000.00	\$1,765.00
Multi-Family	N/A	N/A	N/A	N/A
Commercial/Industrial	N/A	N/A	N/A	N/A

Additions or Alterations	# of Permits	Declared Valuation	Fees
Residential	50	\$310,280.13	\$3,342.00
Commercial	26	\$2,354,068.67	\$5,681.52

Monthly Permits	Monthly Valuation	Monthly Fees	YTD Permits	YTD Valuation	YTD Fees
78	\$3,091,348.80	\$11,471.52	183	\$10,723,442.93	\$62,087.51

2023	165	\$4,561,358.66	\$29,278.20
2022	208	\$9,105,961.64	\$25,572.45
2021	139	\$4,601,508.86	\$20,011.93

Violation Report

Abandoned Vehicle on Property	5
Bulk Waste at Curb Early	13
Commercial Building Violation	2
Construction Work Without Permits	1
Debris on Property	21
Exterior Violations on House	8
Illegal Pets or Livestock	3
Infestation	1
Interior Housing Violations	2
Native Lawn Plan	++
Potholes	1 +
Property Encumbrance	
Public Works Violation	+
Snow & Ice Removal - Sidewalk	
Tall Grass or Noxious Weeds	8
Trash Containers Improperly Stored	
Vacant Building/Home	
Vehicle Parked on Grass	12
Vision Obstruction in Roadway or Intersection	1
Zoning Violations	1
Total Violations / Total Service Fees Billed	79 \$1,100
Voluntary Compliance Rate for Tagged/Verbal	12/18 66%

+ Referred to another department
++ Perpetual

Community Development Report, March 2024

Construction Report

New Construction	# of Permits	Location	Declared Valuation	Fees
Single Family	1	3000 Parkway Dr	\$274,000.00	\$1,164.00
Two-Family	N/A	N/A	N/A	N/A
Multi-Family	N/A	N/A	N/A	N/A
Commercial/Industrial	N/A	N/A	N/A	N/A

Additions or Alterations	# of Permits	Declared Valuation	Fees
Residential	75	\$663,046.68	\$5,934.84
Commercial	40	\$1,133,422.18	\$7,545.72

Monthly Permits	Monthly Valuation	Monthly Fees	YTD Permits	YTD Valuation	YTD Fees
116	\$2,070,468.86	\$14,644.56	415	\$14,864,380.65	\$91,376.63

2023	285	\$15,631,727.54	\$47,044.66
2022	317	\$25,406,593.54	\$74,677.06
2021	274	\$8,225,043.48	\$40,444.33

Violation Report

Abandoned Vehicle on Property	4
Bulk Waste at Curb Early	15
Commercial Building Violation	1
Construction Work Without Permits	5
Debris on Property	12
Exterior Violations on House	3
Illegal Pets or Livestock	2
Infestation	
Interior Housing Violations	3
Native Lawn Plan	++
Potholes	+
Property Encumbrance	
Public Works Violation	+
Snow & Ice Removal - Sidewalk	
Tall Grass or Noxious Weeds	
Trash Containers Improperly Stored	2
Vacant Building/Home	
Vehicle Parked on Grass	20
Vision Obstruction in Roadway or Intersection	
Zoning Violations	1
Total Violations / Total Service Fees Billed	68 \$3,025
Voluntary Compliance Rate for Tagged/Verbal	10/14 71%

+ Referred to another department

++ Perpetual

Community Development Report, April 2024

Construction Report

New Construction	# of Permits	Location	Declared Valuation	Fees
Single Family	1	140 Fourth Ave	\$228,410.00	\$1,163.00
Two-Family	N/A	N/A	N/A	N/A
Multi-Family	N/A	N/A	N/A	N/A
Commercial/Industrial	1	Business Incubator #3 5182 Coyo Dr	\$77,500.00	\$737.60
	1	Business Incubator #4 5182 Coyo Dr	\$77,500.00	\$737.60
	1	Business Incubator #5 5182 Coyo Dr	\$77,500.00	\$737.60
	1	Storage Building #2 5001 Joerns Dr	\$124,000.00	\$882.00
	1	Storage Building #3 5001 Joerns Dr	\$124,000.00	\$882.00
	1	Storage Building #4 5001 Joerns Dr	\$124,000.00	\$882.00

Additions or Alterations	# of Permits	Declared Valuation	Fees
Residential	78	\$689,652.77	\$5,470.46
Commercial	31	\$5,911,039.81	\$15,722.12 *

Monthly Permits	Monthly Valuation	Monthly Fees	YTD Permits	YTD Valuation	YTD Fees
116	\$7,433,602.58	\$27,214.38	415	\$20,227,514.37	\$103,946.45

2023	440	\$25,106,655.62	\$91,252.55
2022	467	\$41,129,574.06	\$116,517.45
2021	434	\$10,191,623.31	\$57,166.40

* Includes Sentry Remodel (ELE/HVAC) for 4th Floor, Approx. 2mill

Violation Report

Abandoned Vehicle on Property	2
Bulk Waste at Curb Early	11
Commercial Building Violation	
Construction Work Without Permits	2
Debris on Property	9
Exterior Violations on House	5
Illegal Pets or Livestock	1
Infestation	1
Interior Housing Violations	3
Native Lawn Plan	++
Potholes	+
Property Encumbrance	
Public Works Violation	2 +
Snow & Ice Removal - Sidewalk	
Tall Grass or Noxious Weeds	
Trash Containers Improperly Stored	2
Vacant Building/Home	
Vehicle Parked on Grass	22
Vision Obstruction in Roadway or Intersection	2
Zoning Violations	1
Total Violations / Total Service Fees Billed	63 \$1,600
Voluntary Compliance Rate for Tagged/Verbal	10/12 83%

+ Referred to another department

++ Perpetual

Community Development Report, May 2024

Construction Report

New Construction	# of Permits	Location	Declared Valuation	Fees		
Single Family	1	408 West St	\$256,000.00	\$1,163.00		
Two-Family	1	1424/1426 River View Ave	\$368,000.00	\$2,433.30		
	1	3701/3703 Doolittle Dr	\$350,000.00	\$1,515.00		
	1	3705/3707 Doolittle Dr	\$350,000.00	\$1,515.00		
	1	3709/3711 Doolittle Dr	\$350,000.00	\$1,515.00		
Multi-Family	N/A	N/A	N/A	N/A		
Commercial/Industrial	2	Seramur Park Pavilion (PLB)	\$14,603.00	\$0.00		
		1401 East Ave				
Additions or Alterations	# of Permits	Declared Valuation		Fees		
Residential	108	\$787,142.07		\$7,888.44		
Commercial	28	\$626,768.12		\$2,399.26		
Monthly Permits	Monthly Valuation	Monthly Fees		YTD Permits	YTD Valuation	YTD Fees
143	\$3,102,513.19	\$18,429.00		558	\$23,330,027.56	\$122,375.45

2023	603	\$38,481,748.23	\$148,060.65
2022	643	\$57,794,783.60	\$193,353.53
2021	575	\$19,468,288.61	\$111,207.08

Violation Report

Abandoned Vehicle on Property	2
Bulk Waste at Curb Early	30
Commercial Building Violation	2
Construction Work Without Permits	2
Debris on Property	16
Exterior Violations on House	2
Illegal Pets or Livestock	1
Infestation	
Interior Housing Violations	2
Native Lawn Plan	3 ++
Potholes	+
Property Encumbrance	
Public Works Violation	1 +
Snow & Ice Removal - Sidewalk	
Tall Grass or Noxious Weeds	1
Trash Containers Improperly Stored	
Vacant Building/Home	1
Vehicle Parked on Grass	
Vision Obstruction in Roadway or Intersection	
Zoning Violations	
Total Violations / Total Service Fees Billed	81 \$1,925
Voluntary Compliance Rate for Tagged/Verbal	27/30 90%

+ Referred to another department

++ Perpetual

Community Development Report, June 2024

Construction Report

New Construction	# of Permits	Location	Declared Valuation	Fees
Single Family	1	3200 Water St #11	\$50,000.00	\$683.00
	1	3200 Water St #20	\$50,000.00	\$683.00
Two-Family	N/A	N/A	N/A	N/A
Multi-Family	N/A	N/A	N/A	N/A
Commercial/Industrial	1	Seramur Park Pavilion (ELE) 1401 East Ave	\$15,930.00	\$0.00

Additions or Alterations	# of Permits	Declared Valuation	Fees
Residential	98	\$761,056.77	\$6,879.65
Commercial	31	\$2,590,509.17	\$14,319.99 *

Monthly Permits	Monthly Valuation	Monthly Fees	YTD Permits	YTD Valuation	YTD Fees
132	\$3,467,495.94	\$22,565.64	690	\$26,797,523.50	\$144,941.09

2023	767	\$47,404,941.59	\$177,273.60
2022	822	\$65,419,543.01	\$257,018.04
2021	705	\$20,457,751.46	\$122,143.63

* Interior remodel for Sentry World High School Co-op at the former Visitor's Center, approx. 312k

Violation Report

Abandoned Vehicle on Property	2
Bulk Waste at Curb Early	29
Commercial Building Violation	2
Construction Work Without Permits	1
Debris on Property	10
Exterior Violations on House	3
Illegal Pets or Livestock	1
Infestation	
Interior Housing Violations	1
Native Lawn Plan	1 ++
Potholes	+
Property Encumbrance	
Public Works Violation	2 +
Snow & Ice Removal - Sidewalk	
Tall Grass or Noxious Weeds	115
Trash Containers Improperly Stored	1
Vacant Building/Home	
Vehicle Parked on Grass	15
Vision Obstruction in Roadway or Intersection	4
Zoning Violations	

Total Violations / Total Service Fees Billed	187	\$2,500
Voluntary Compliance Rate for Tagged/Verbal	20/25	91%

+ Referred to another department

++ Perpetual