



Our intention is to have in-person meetings going forward. For the time being, we will hold the City Committee Meetings, Plan Commission, Council and most others at the Community Room at 933 Michigan Avenue. This in-person location will meet the legal requirement for our open meetings.

We will have a virtual option available, but the technology for the hybrid style meeting may not be reliable all of the time.

Members

- Mayor Wiza
- Alderperson Kneebone
- Commissioner Arntsen
- Commissioner Beacom
- Commissioner Miskowiak
- Commissioner Rice
- Commissioner Schuler

AGENDA

CITY PLAN COMMISSION

Date June 3, 2024
and 6:00 PM
Time:

Location:

Community Room
933 Michigan Avenue, Stevens Point, WI

OR

Zoom Teleconferencing

Meeting ID: 837 8634 6820

Passcode: 349322

By Computer:

<https://us02web.zoom.us/j/83786346820?pwd=MU1OcmtMaElya0l3dUhVV2>

By Phone: +1-312-626-6799 (US Chicago)

Opening Section:

1. Roll Call

Discussion and Possible Action on:

2. Report of the May 6, 2024 meeting of the City Plan Commission.
3. Public Hearing and action on a request from the City of Stevens Point for a final subdivision plat review of a planned subdivision on the property located at 5498 Golla Road (Parcel ID 281240826400500), consistent with Ch. 20.05(2).
4. Public Hearing and action on a request from the City of Stevens Point to rezone the property located at 5498 Golla Road (Parcel ID 281240826400500) from the "R-LD" Low Density Residence District to the "R-3" Single- and Two-Family Residence District.
5. A request from the City of Stevens Point to annex an unaddressed parcel bounded by Old Highway 18 and Brilowski Road (Parcel ID 020240836-11.01), an unaddressed parcel

PLEASE TAKE NOTICE that any person who has special needs while attending these meetings or needs agenda materials for these meetings should contact the City Clerk as soon as possible to ensure that a reasonable accommodation can be made. The City Clerk can be reached by telephone at (715) 346-1569 or by mail at 1515 Strongs Avenue, Stevens Point, WI 54481.

Maps further defining the above area(s) may be obtained from the City of Stevens Point Department of Community Development, 1515 Strongs Avenue, Stevens Point, WI 54481, or by calling (715) 346-1567, during normal business hours.

PLEASE TAKE FURTHER NOTICE that a quorum of the Common Council may be in attendance at this meeting.

bounded by Brilowski Road (Parcel ID 020230801-06.01), an unaddressed parcel adjacent to the Canadian National Railway (Parcel ID 020230801-05.01), a portion of the unaddressed parcel adjacent to Old Highway 18 (Parcel ID 020240836-12) and Old Highway 18 Right-of-Way from the Town of Hull to the City of Stevens Point.

6. A request from Mario Valentini, representing KB Stevens Point DST, for a site plan review to construct a building addition on the property located at 5590 United States Highway 10 East (Parcel ID 281240835110002), consistent with Ch. 23.02(2)(e)(5).
7. A request from the City of Stevens Point to acquire the property located at 1000 Maria Drive (Parcel ID 281240829240020).
8. A request from the City of Stevens Point to approve a certified survey map and accept the dedication of land for right-of-way purposes for a planned extension of Badger Avenue from E.M. Copps Drive to County Road HH.
9. Director's Report.

Closing Section:

10. Adjourn



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Members

- Mayor Wiza
- Alderperson Kneebone
- Commissioner Arntsen
- Commissioner Beacom
- Commissioner Miskowiak
- Commissioner Rice
- Commissioner Schuler

MINUTES

CITY PLAN COMMISSION

Date May 6, 2024
and 6:00 PM
Time:

Location:

Community Room
933 Michigan Avenue, Stevens Point, WI

OR

Zoom Teleconferencing

Meeting ID: 895 5229 0403

Passcode: 693069

By Computer:

<https://us02web.zoom.us/j/89552290403?pwd=Y2hpK0J3M1RPbUpiNFd2S2F>

By Phone: +1-312-626-6799 (US Chicago)

Opening Section:

1. Roll Call
 - Call to Order: 6:00PM
 - Present: Mayor Wiza, Alderperson Kneebone, Beacom, Miskowiak, Rice, Arnsten
 - Absent: Schuler

Discussion and Possible Action on:

2. Report of the April 1, 2024 meeting of the City Plan Commission.
 - Notes:
 - Motion: Arnsten moves approval of the report included.
 - Second: Rice seconds.
 - Discussion: None
 - Vote: Unanimous approval
3. Public Hearing and action on a request from Zach Brocken, representing North Reserve Property Group LLC, for a conditional use permit to construct five single-family homes on an unaddressed parcel bounded by Reserve Street North and Bluebell Lane (Parcel ID 281240820140150), consistent with Ch. 23.01(14)(f) & Ch. 23.02(1)(g)(16)(f).
 - Notes: Zoning Administrator Kuhn presents background information on the request. Single-family residential construction in B-4 zoning requires conditional use permit. Staff recommends approval. Rice requests additional information on the project regarding ownership of the parcels following the construction.
 - Public Hearing:
 - Ron Aufdermauer, 2224 Michigan Ave., requests clarification on setbacks and the roofline of the proposed buildings; speaks opposed to the project, citing need to address site drainage concerns. Requests delay in approval for revisions to be public.
 - John Schliecker, 1909 Bluebell Ln., shares concerns about the proposed development, including: loss of privacy from new development/residents, pets within the senior village, speeding vehicles within the senior village, and the proposed refuge structure.
 - Zach Brocken, applicant, shares additional information regarding the preliminary site plan, including movement of the structures north and individual trash receptacles at each home.
 - Jack Meckler, 1927 Lilac Ln., requests additional information on tenancy, maintenance of the properties, the design of the homes, lot size requirements, and parking requirements.
 - Raymond Cal, 1233 Maria Dr., property owner of a property within Harmony

Village, speaks opposed to the proposal citing: the density of the proposed project is lower than that of Harmony Village; turnaround for fire prevention is not included; concern about the maintenance of fences; confusion about language in the proposal regarding duplexes instead of single-family homes.

- Bill St. John, 2016 Bluebell Ln., requests clarification regarding the future dedication of Bluebell Ln and whether or not it would be a City street, and if there could be future access from these homes to Bluebell Ln.
 - Response to public hearing: Mayor Wiza, A. Kuhn respond to questions and concerns of residents. Wiza advises returning the request to staff for revisions.
 - Motion: Kneebone moves to return the request to staff for clarification.
 - Second: Arnsten seconds.
 - Discussion from commissioners: Arnsten requests additional clarification on the drainage issue referenced by residents and comments from Commissioner Rice, hoping to see the applicant clarifies ownership intentions of the homes. Beacom references the high need for single family homes in the community.
 - Vote: Unanimous approval.
4. A request from Bailey Voigt, representing St Peter Parish, for a sign variance to install a freestanding sign exceeding maximum height requirements on the property located at 800 Fourth Avenue (Parcel ID 281240829302701), consistent with Ch. 25.14.
- Notes: A. Kuhn presents background information regarding the request. Recommends approval. Gary Glodoski, from St. Peter's Parish, shares intent of the monument.
 - Motion: Arnsten moves approval as recommended.
 - Second: Beacom seconds.
 - Discussion: None.
 - Vote: Unanimous approval.
5. A request from the City of Stevens Point for a preliminary subdivision plat review of a planned subdivision on the property located at 5498 Golla Road (Parcel ID 281240826400500), consistent with Ch. 20.05(1).
- Notes: Mayor Wiza presents information regarding staff adjustments to the subdivision plat to be reviewed. R. Kernosky adds that all key issues were addressed, including reduction in density, driveway access on Golla Rd., pedestrian pathway along the north bank of Lost Creek, and outlots for creek maintenance and pedestrian pathways. Staff recommends approval of the plat to common council.
 - Dave Wilz, 1909 Mary's Dr., shares concerns regarding the 'unresolved drainage easement' and the density of the residential lots is not comparable to the residential density of the Town of Hull.
 - Nick Somers, 292 Maple Bluff Rd., reads correspondence between his attorney and R. Kernosky, reiterating request to increase the size of the outlots bordering Lost Creek, and clarity of easements on property records.
 - Mike Splinter, 1475 Torun Rd., speaks in opposition to the subdivision plat,

requesting that the 'experiment' be reduced to a smaller parcel of land.

- Jim DeWeerd, 5364 Duncan Dr., speaks in opposition to the project citing the development costs of the project and the public displeasure of the subdivision plat.
- Jim Anderson, 305 Maple Bluff Rd., speaks in opposition to the project citing density concerns compared to other neighborhoods, that the proposed subdivision plat is more dense, and the cost of infrastructure may not be appropriate.
- Gail Gollon, 5662 Crescent View Dr, speaks in opposition to the project citing the density of the subdivision and potential increases in traffic.
- Amy Anderson, 319 Maple Bluff Rd., speaks in opposition to the subdivision plat citing the connection between Evelyn Ct and Maple Bluff Rd is unsafe.
- Diane Somers, 292 Maple Bluff Rd., speaks in opposition to the subdivision plat citing concerns about pedestrian safety of trail users.
- Kurt Groholski, 5881 Rainbow Dr., speaks in opposition to the project citing the need to protect the drainage easement.
- Ralph Danke, Amber Ave, speaks in opposition to the subdivision plat citing that the lots are not acceptable, not conforming to the neighborhood,
- Steve Brilowski, Brilowski Rd., speaks in opposition to the subdivision plat, citing that the plat does not fit the neighborhood.
- Dayna Van Order, 420 Maple Bluff Rd., speaks in opposition to the subdivision plat, referencing the removal of trees, the potential impact of the subdivision on school services, and traffic impact on Town of Hull roads.
- Joe Arnold, 712 S. Maple Bluff Ct., speaks in opposition to the subdivision plat, citing concerns of the housing density and its impact on traffic and pedestrian safety.
- Jeff Salewski, 225 Brilowski Rd., speaks in opposition to the subdivision plat citing previously mentioned traffic safety concerns and that residential density does not match the area.
- Karen Hannon, 465 Brilowski Rd. N, requests additional information on planned park space.
- Monica Heizman, 8570 Greenway Blvd, Middleton WI (online), owner of plat north of the proposed subdivision, requests information about the necessity of a culvert at the north end of Joe St and shares gratitude for green space included, and hope to see Lost Creek preserved as much as possible.
- Further discussion: M. Wiza addresses concerns presented during public comment. Beacom requests purchase date of the property, information of the extension of Evelyn Ct to Maple Bluff Rd; R. Kernosky answers.
- Motion: Beacom moves approval of the preliminary plat as presented.
- Second: Miskowiak seconds.

- Discussion: Kneebone responds to pedestrian safety and the size of lots presents options to purchasers, and support of constituents; Arnsten inquires about the frequency of drainage maintenance and shares concerns of the trail adjacent to the creek, and references need to address pedestrian safety; Rice responds to residential concerns presented, commends staff; Kneebone adds that conservation is being performed in the area as well; Arnsten references Kneebone's comments regarding purchasing options as a highly positive aspect of the subdivision plat.
 - Vote: Unanimous approval.
6. A request from the City of Stevens Point to grant an electric underground easement to the Wisconsin Public Service Corporation for the property located at 601 Mason Street (Parcel ID 281230805200016).
- Notes: R. Kernosky presents background information on the request. Recommends approval as presented. Wiza requests clarification regarding the request and if the project is a pressing issue. Kernosky affirms that it is indeed pressing.
 - Motion: Arnsten moves approval as presented.
 - Second: Kneebone seconds.
 - Discussion: None
 - Vote: Unanimous approval.
7. Consideration of a hammerhead design for the Walker Street reconstruction project.
- Notes: M. Wiza presents background information regarding the proper process for review and approval of all projects required by state statute. Arnsten requests additional information as to whether certain projects need to be approved or only reviewed. Atty. Beveridge clarifies that additional details will be provided in future
 - Motion: Kneebone moves approval of the design as presented.
 - Second: Rice seconds.
 - Discussion: Kneebone shares that the design was presented as the option with the least damage to the landscape; Arnsten commends staff for the consideration of the preservation; Miskowiak requests clarification on the project material and future connectivity to neighboring streets.
 - Vote: Unanimous approval.
8. Consideration of road alterations for the segment of Prairie Street between Bliss Avenue and Mason Street, with retention of City right-of-way.
- Notes: M. Wiza reiterates the need to bring this project before Plan Commission.
 - Motion: Arnsten moves approval.
 - Second: Beacom seconds.
 - Discussion: None.
 - Vote: Unanimous approval.

9. Consideration on the extension of public utilities for the development of the Forest Creek Subdivision.
 - Notes: M. Wiza reiterates the need to bring before Plan Commission. R. Kernosky presents background information regarding the extension of public utilities, and that the sewer and water mains are sized appropriately south of the potential subdivision. Arnsten requests clarification on need for stormwater management as it is not presented in the request; Director Lemke explains that non-traditional stormwater management frequently used in new areas of the City would also be applicable to the subdivision.
 - Motion: Beacom moves approval as presented.
 - Second: Arnsten seconds.
 - Discussion: Rice requests clarification on type of sewer; Lemke explains that it would be a gravity-fed system.
 - Vote: Unanimous approval.
10. Director's Report.
 - Notes: R. Kernosky delivers director's report, including an update on Shopko demolition, Downtown Targeted Area Master Plan, request from the Portage County Business Park for assistance to establish a business improvement district.

Closing Section:

11. Adjourn: Adjournment at 8:01PM

Administrative Staff Report

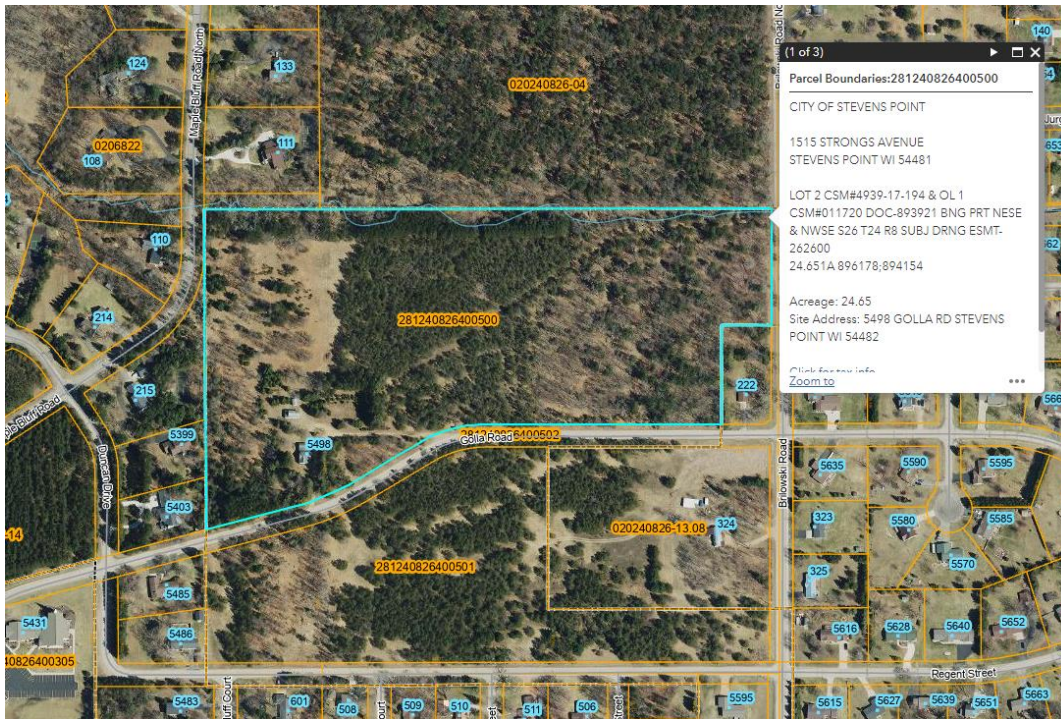
Final Subdivision Plat Review Golla Road & Brilowski Road June 3, 2024



Department of Community
Development

Applicant(s): - City of Stevens Point Staff: - Ryan Kernosky, Director rkernosky@stevenspoint.com - Adam Kuhn, Associate Planner akuhn@stevenspoint.com Parcel Number(s): 281240826400500 Zone(s): "R-LD" Low Density Residential Master Plan: - Residential Council District: - District 7 – Ald. Kneebone Lot Information: 60 lots Current Use: - Undeveloped Applicable Regulations: - Ch. 20.05(2)	Request - Public Hearing and action on a request from the City of Stevens Point for a final subdivision plat review of a planned subdivision on the property located at 5498 Golla Road (Parcel ID 281240826400500), consistent with Ch. 20.05(2). Attachment(s) - Application - Plat Findings of Fact - A total of 60 lots are proposed to be created off of a parcel 24.65 acres in size. - In April of 2024, the Plan Commission held a public hearing on the preliminary subdivision plat. The Plan Commission voted to table discussions to address requested revisions to the preliminary plat. - In May of 2024, the Plan Commission considered and approved the amended preliminary plat. - Any division of land creating four or more lots requires a preliminary and final subdivision plat review. Staff Recommendation Approve the final subdivision plat as presented for a new subdivision located at 5498 Golla Road (Parcel ID 281240826400500).
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Vicinity Map



Background

The applicant is requesting a final subdivision plat review for a proposed 60-lot subdivision located north of Golla Road and west of Brilowski Road. As commissioners may recall, previous versions of this request have been before the Plan Commission previously. Previous versions from 2021 included a 39-lot subdivision. At the time, commissioners and the Common Council expressed concern over the low lot density and the long-term financial obligations of the development to the City. As a result of changing economic conditions, the previous developer opted to not pursue the subdivision development. At that point, the City purchased the property with the intention of increasing the density of the subdivision to ensure long-term financial viability for the proposed development.

A Public Information Meeting (“PIM”) was held in February of 2024 as part of the planned utility and roadway extensions as a result of the proposed subdivision. Informal feedback on the proposed subdivision was taken into consideration, and several changes were made as a result including:

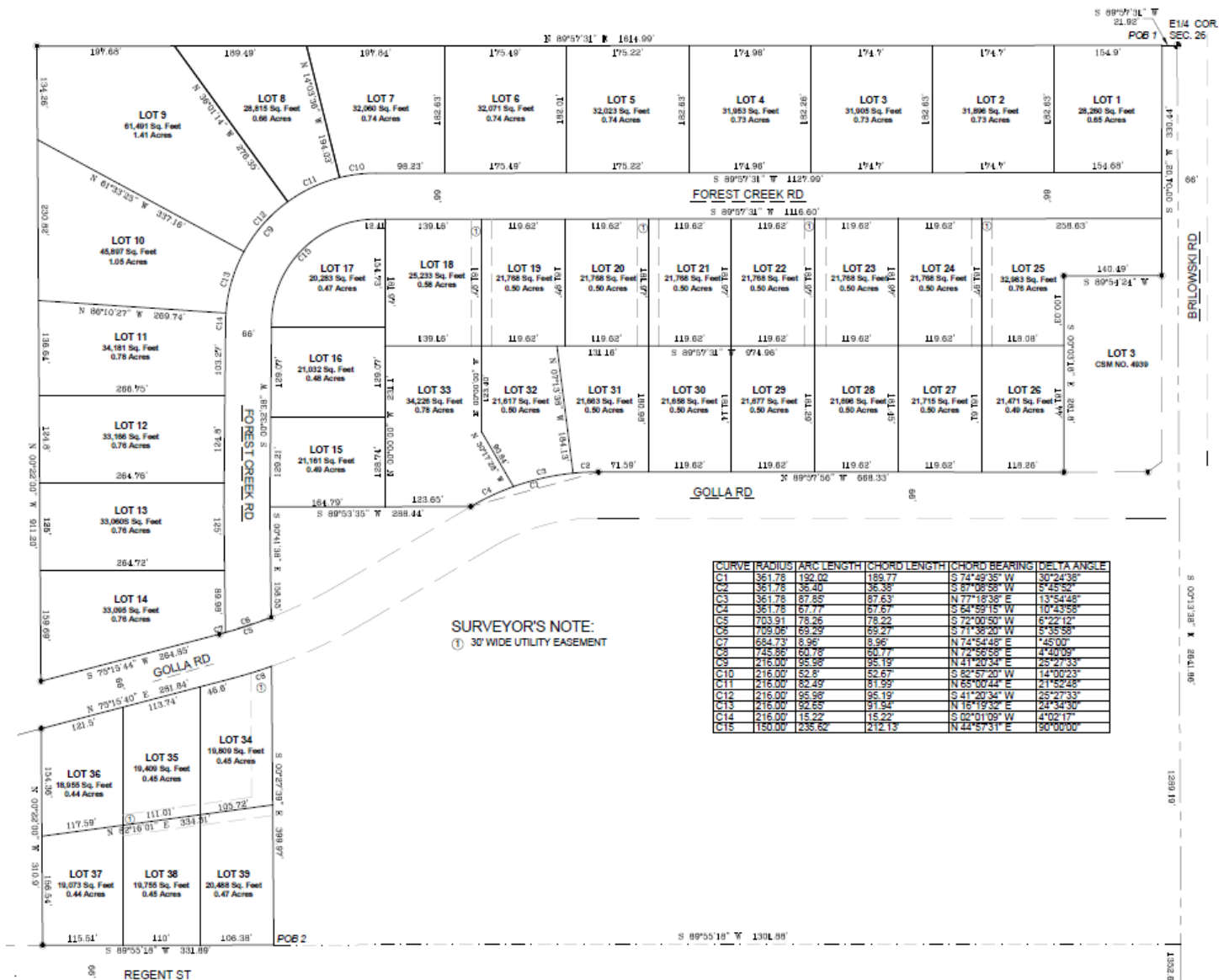
- 1) Removal of zero-lot line homes along Golla Road, replaced with single-family homes.
- 2) Extension of Joe Street to north lot line.
- 3) Proposed easement along north property line for access to Lost Creek for maintenance.
- 4) A lower density (originally proposed to be 82, now proposed to be 60).

The current zoning is “R-LD” Low Density Residential. This zoning designation was temporarily assigned as of February 23, 2024 when the subject parcel was annexed into City limits. Consistent with the City’s Zoning Code, annexed land is temporarily zoned “R-LD” Low Density Residential until a permanent zoning designation is approved. As part of the June Plan Commission meeting, City staff are requesting a permanent zoning designation of “R-3” Single- and Two-Family Residential.

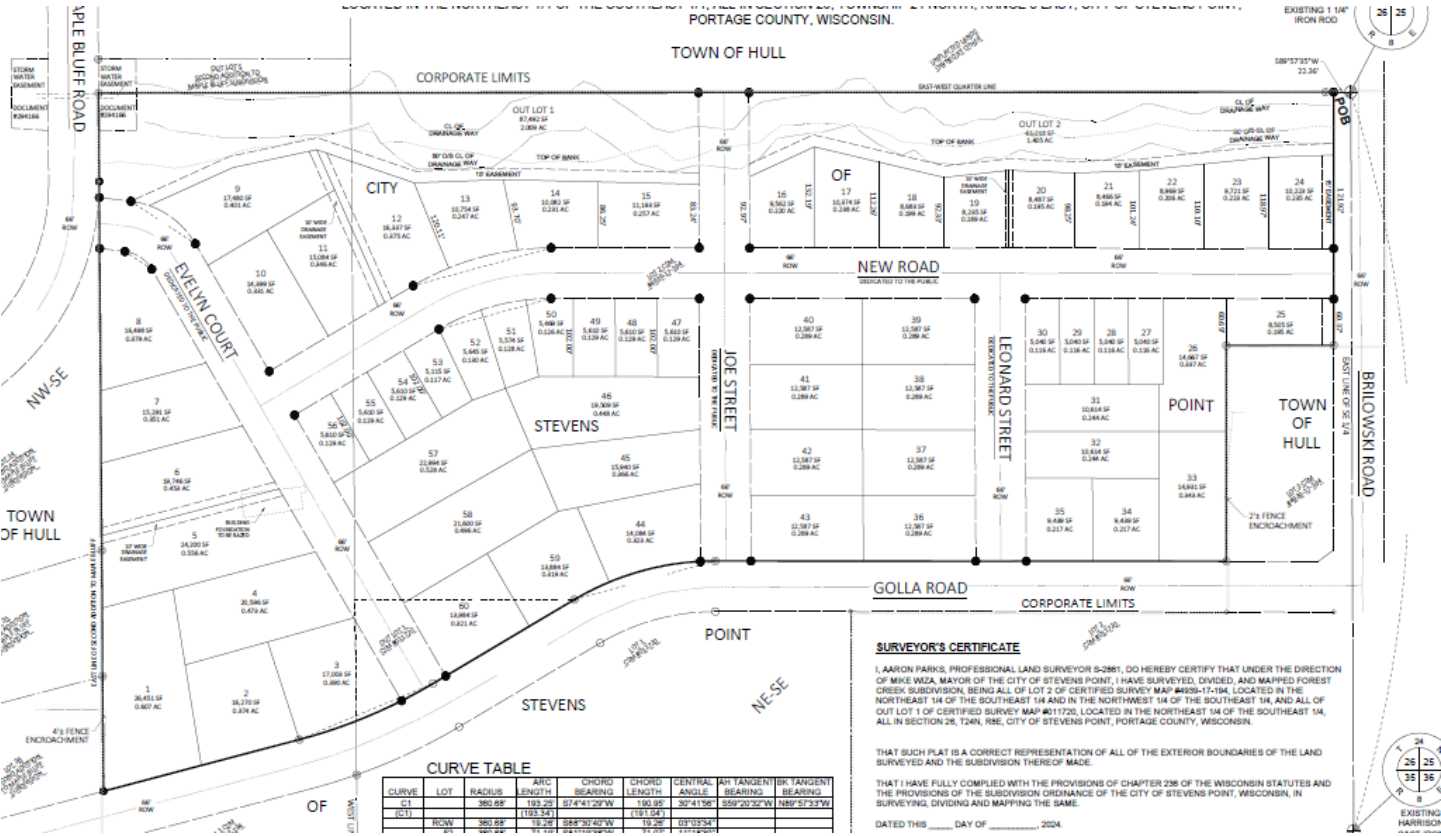
The City's Comprehensive Plan Extraterritorial Future Land Use Map identifies the subject property for residential use. By proposing a 60-lot subdivision, the proposed residential use is consistent with the City's Extraterritorial Future Land Use Map. Additionally, the subject property falls within the Groundwater Protection District Zone B and will be serviced with City Sewer and Water.

There is an existing meandering creek along the north property line that is part of the larger drainage plan to the east of the property. The City, Town of Hull, and the farmers who are part of an existing easement met at the property earlier this year and are working towards a solution to concerns about access to maintain the creek to ensure continued flow of the drainage ditches adjacent to the property.

The subdivision submitted in 2021 is below:

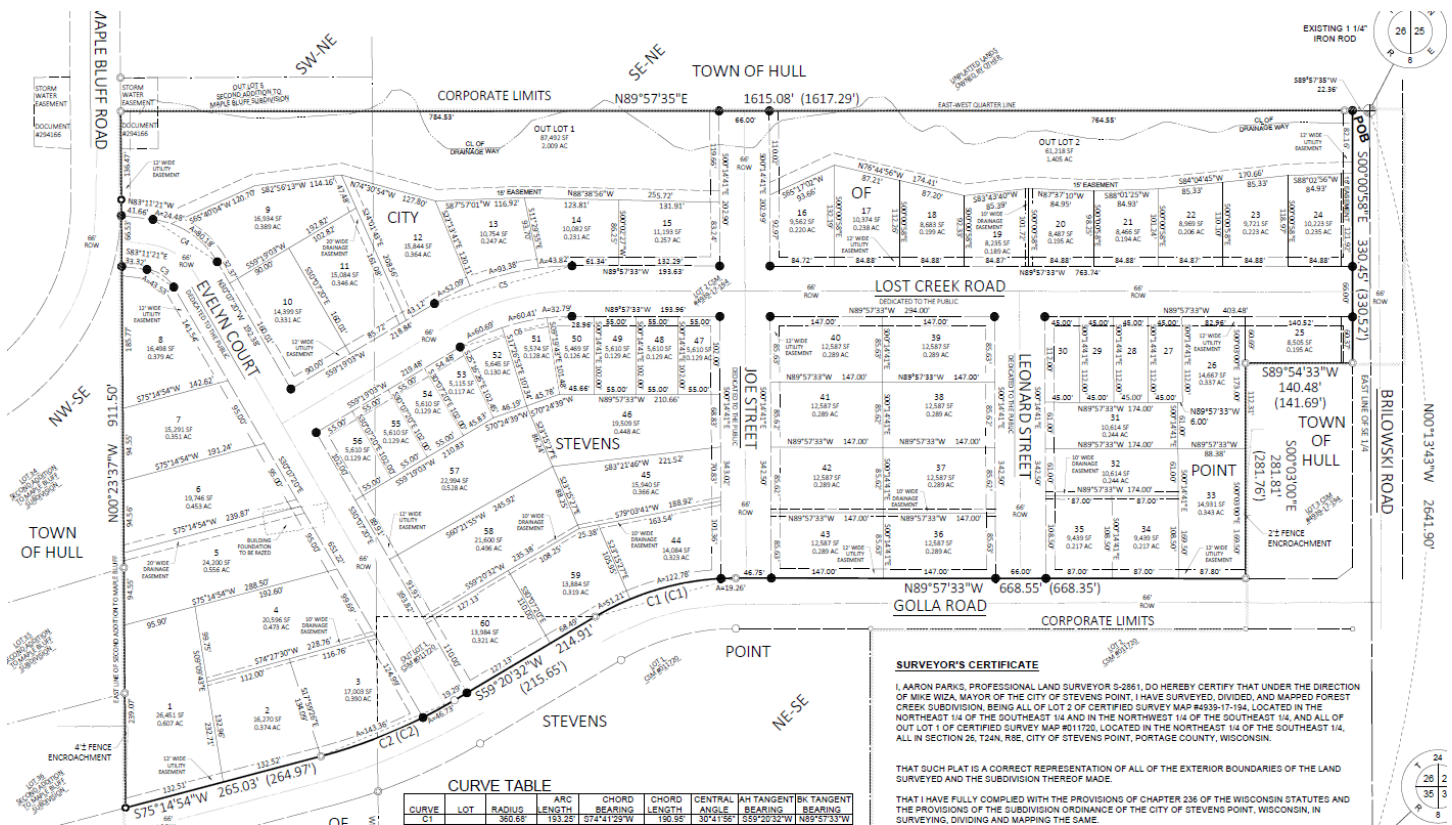


The preliminary subdivision plat approved by the Common Council on May 20, 2024 is shown below:



Approved Preliminary Subdivision Plat

The final subdivision plat under consideration is shown below. As shown on the preliminary and final subdivision plats, the one change is that the intersection of lots 9, 11 & 12 is shifted ten feet to the south. This shift in lot lines were requested by nearby farmers to provide adequate space between the ditch and multi-use path (both found within the easement area north of Lost Creek Road.



Recommended Final Subdivision Plat

Standards of Review

A preliminary plat or final plat of any major or minor subdivision in the City of Stevens Point or in the extraterritorial area shall not be approved unless the Plan Commission and the Common Council determine that adequate public facilities and public services are available to support and service the area of the proposed subdivision, unless the City finds the major or minor plat are in an area not likely to be included in the City's future growth zone. In considering the questions of adequacy of public facilities and public services as set forth above, the Plan Commission and Common Council shall consider but not be limited to:

1. The nature, extent and size of the proposed subdivision and its impact in terms of the estimated increase in population expected to result.

Analysis: The subject property is approximately 24.65 acres in size and include 60 total lots. The total density of the proposed subdivision is 2.43 units/acre, which is similar to the development east of Brilowski Rd, most notably in the Kingfisher Drive area.

Findings: US Census household size in Stevens Point is 2.10 persons per household. The City's 2022 estimated population was 25,716 persons. With the proposed subdivision, a .50% population increase could be reasonably expected. Existing public infrastructure and facilities can reasonably handle this type of increase.

2. The present or projected state of development likely to result when said subdivision is developed with projected densities as anticipated by adopted area Comprehensive Plans and currently approved subdivisions in the immediate vicinity of the proposed subdivision.

Analysis: The proposed subdivision provides medium-density residential development north of the City's municipal boundary.

Findings: Given the estimated infrastructure costs and tax revenues tied to this development, coupled with providing housing density within the Groundwater Protection District Zone B, sufficient lot density exists.

3. **The avoidance of expenditures of public funds necessitated by the proposed subdivision which are not in adopted capital or operating budgets. For subdivisions in the City of Stevens Point, the applicant shall furnish data requested by the Director of Public Works, Water Utility Manager, Traffic Engineer and Director of Planning and Development who will coordinate statements of adequacy for transportation, storm sewer, sanitary sewer, water service, fire and police protection, parks, open space, and recreation and school facilities for the Plan Commission and the Common Council.**

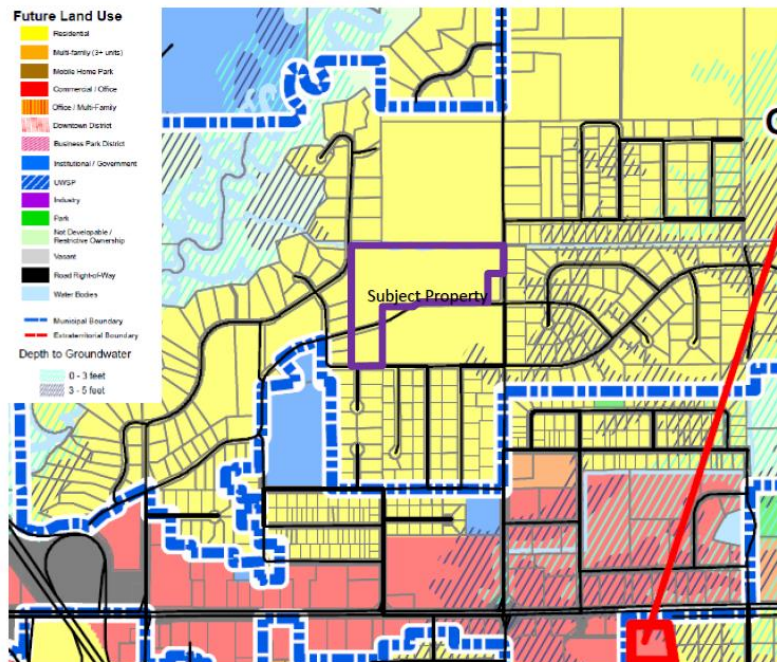
Analysis: The proposed subdivision is part of the capital improvement budget previously approved by the common council. As mentioned previously, the proposed density and the expected population increases will not significantly impact existing public infrastructure and facilities.

Findings: Estimated infrastructure costs, projected property tax revenue, and utility users provide sufficient financial capacity for the subdivision over the life of the proposed infrastructure.

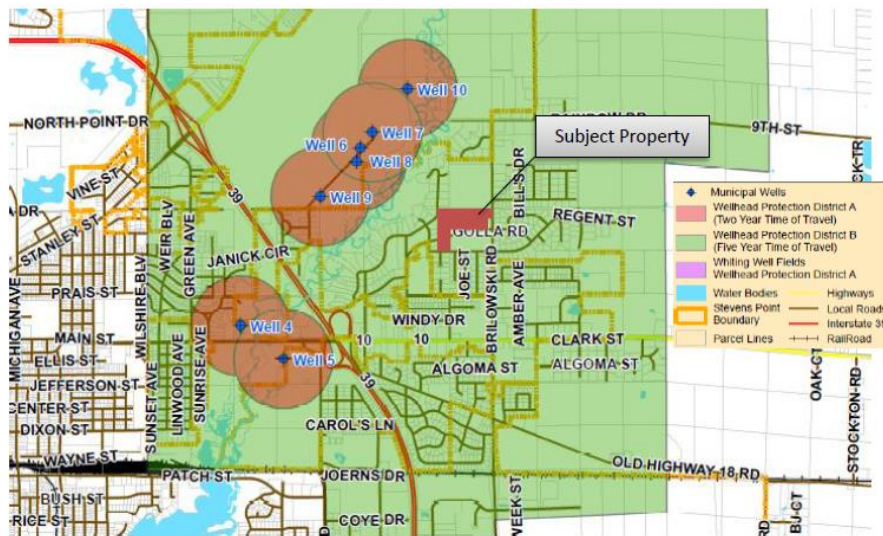
Based on the findings above, staff recommends approval of the final subdivision plat as presented.

Exhibits

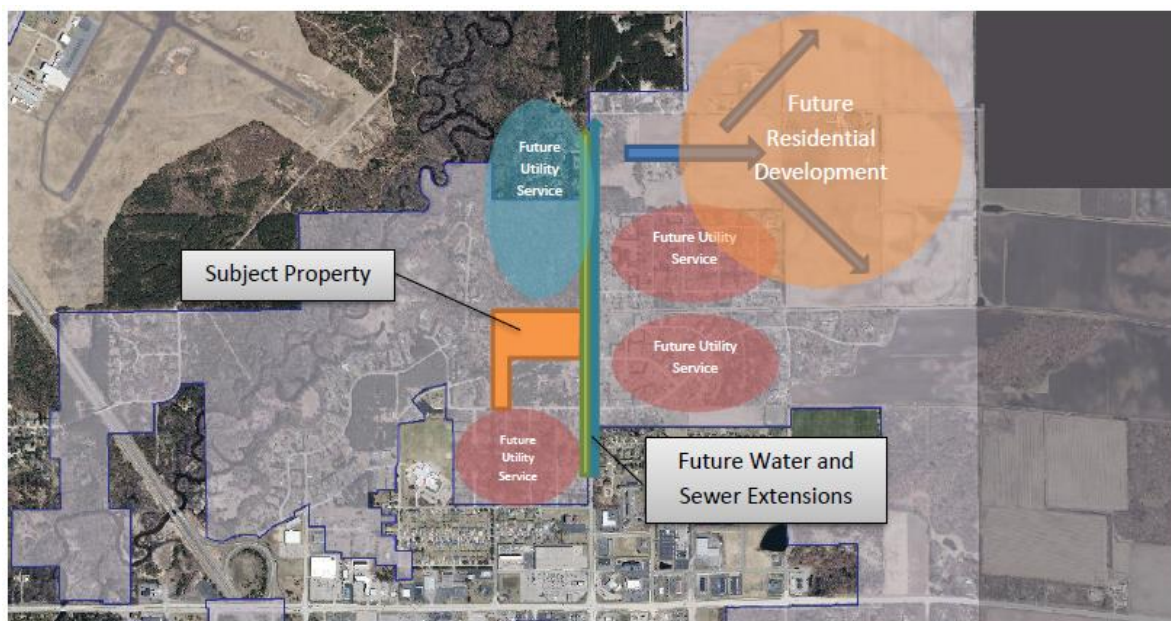
1. Future Land Use Consideration:



2. Wellhead Protection:

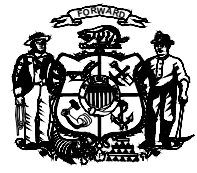


3. Future Growth Potential:



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____



Department of Administration

FOREST CREEK SUBDIVISION

A SUBDIVISION PLAT OF FOREST CREEK SUBDIVISION, BEING ALL OF LOT 2 OF CERTIFIED SURVEY MAP #4939-17-194, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, AND ALL OF OUT LOT 1 OF CERTIFIED SURVEY MAP #011720, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, ALL IN SECTION 26, TOWNSHIP 24 NORTH, RANGE 8 EAST, CITY OF STEVENS POINT, PORTAGE COUNTY, WISCONSIN.

UTILITY EASEMENTS

NO POLES OR BURIED CABLES ARE TO BE PLACED SUCH THAT THE INSTALLATION WOULD DISTURB ANY SURVEY STAKE OR OBSTRUCT VISION ALONG ANY LOT LINE OR STREET LINE. THE DISTURBANCE OF A SURVEY STAKE BY ANYONE IS A VIOLATION OF s. 236.32 OF THE REVISED WISCONSIN STATUTES. UTILITY EASEMENTS AS HEREIN SET FORTH ARE FOR THE USE OF PUBLIC BODIES AND PRIVATE OR PUBLIC UTILITIES HAVING THE RIGHT TO SERVE THE AREA.

THE UTILITY EASEMENTS INCLUDE THE RIGHT OF THE UTILITY TO TRIM OR REMOVE ANY OR ALL TREES WITHIN THE EASEMENT WHICH WOULD INTERFERE WITH THE CONSTRUCTION OR MAINTENANCE OF THE UTILITY.

UTILITY EASEMENT NOTES

TYPICAL 12' UTILITY EASEMENT. SIDES OF EASEMENT ARE PARALLEL TO ROW LINES AND THEY SHALL LENGTHEN OR SHORTEN TO PROVIDE CONTINUITY. NOT TO SCALE

DRAINAGE EASEMENT NOTES

TYPICAL DRAINAGE EASEMENT WIDTH AS NOTED. SIDES OF EASEMENT ARE PARALLEL TO LOT LINES AND THEY SHALL LENGTHEN OR SHORTEN TO PROVIDE CONTINUITY. NOT TO SCALE

BIKE/PEDESTRIAN EASEMENT

15' WIDE EASEMENT FOR BIKE/PEDESTRIAN USE ALONG SOUTHERLY SIDE OF OUT LOT 1 AND OUT LOT 2, AND EAST SIDE OF LOT 24 AND LOT 25. SIDES OF EASEMENT ARE PARALLEL TO LOT LINES AND THEY SHALL LENGTHEN OR SHORTEN TO PROVIDE CONTINUITY.

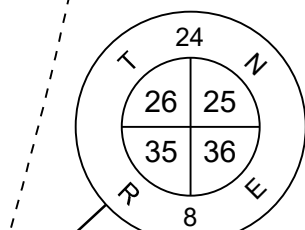
LOT SIZE

LOT #	SQ. FT.	ACRES
27	5,040	0.116
28	5,040	0.116
29	5,040	0.116
30	5,040	0.116

DEVELOPER/OWNER:
CITY OF STEVENS POINT
1515 STRONGS AVENUE
STEVENS POINT, WI 54481

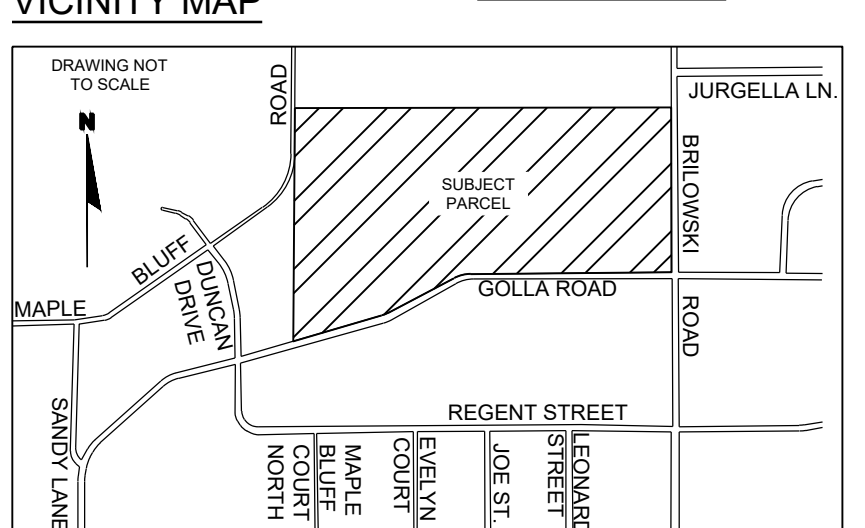
BASE FOR BEARING

BEARINGS REFERENCED TO THE EAST LINE OF THE SE1/4 OF SECTION 26, T24N, R8E, HAVING A GRID BEARING OF N 00°13'43" W, PER THE WISCONSIN COUNTY COORDINATE SYSTEM, PORTAGE COUNTY, NAD83(2011).

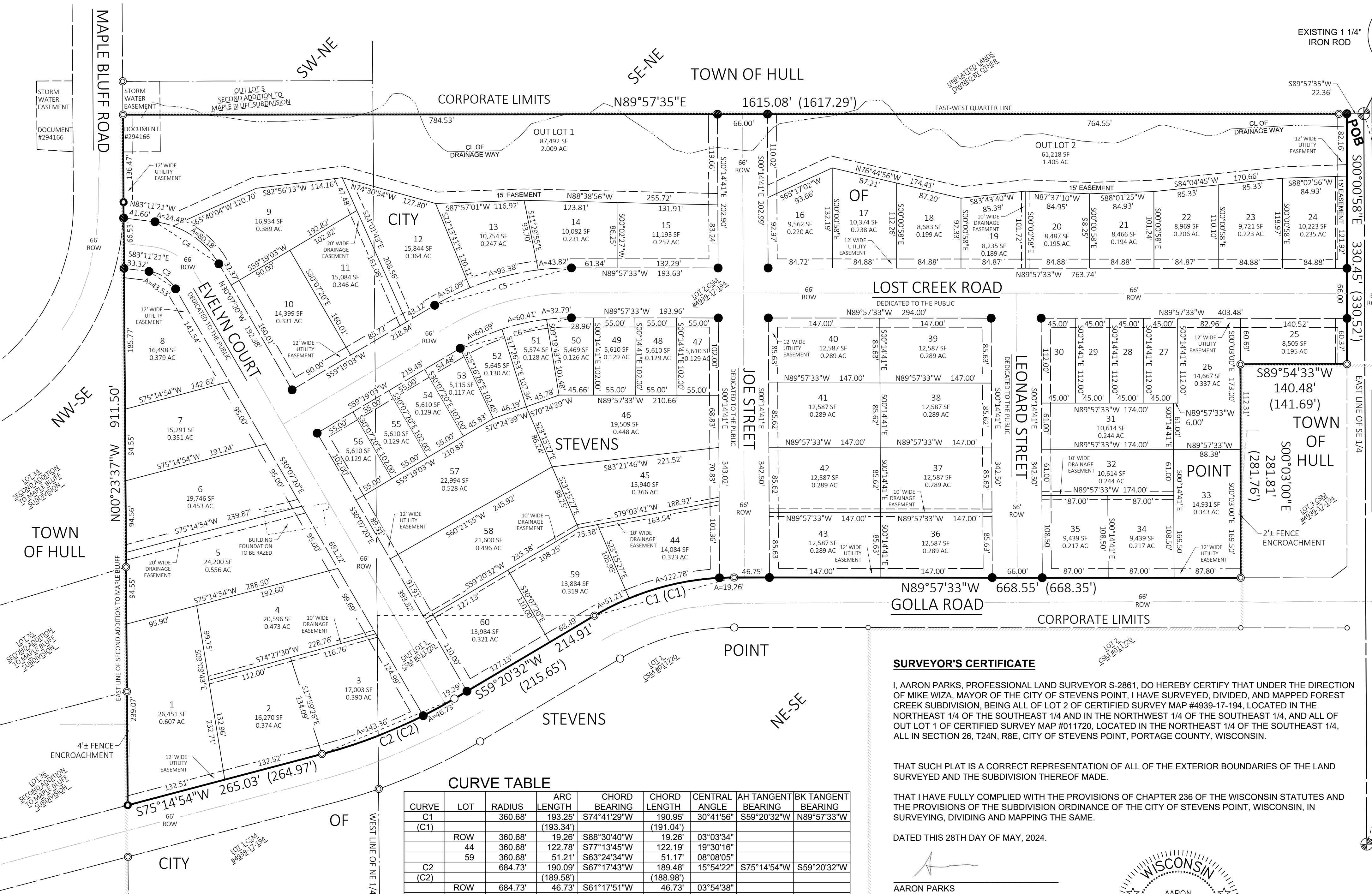


EXISTING HARRISON CAST IRON

VICINITY MAP



SHEET 1 OF 2 SHEETS



LEGEND

- FOUND GOVERNMENT MONUMENT AS NOTED
- EXISTING 3/4" REBAR
- EXISTING 1 1/4" REBAR
- EXISTING 1 1/4" O.D. IRON PIPE
- EXISTING 2 1/4" O.D. IRON PIPE
- SET 1 1/4" X 18" REBAR, WEIGHING 4.30 LBS/LIN FT
- ALL OTHER LOT CORNERS SET WITH A 1 1/4" OD X 18" IRON PIPE WEIGHING 1.68 LBS/LIN FT
- () RECORDED DISTANCE FROM PREVIOUS INSTRUMENT

CURVE TABLE

CURVE	LOT	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	CENTRAL ANGLE	AH TANGENT BEARING	BK TANGENT BEARING
C1		360.68'	193.25'	S74°41'29"W	190.95'	30°41'56"	S59°20'32"W	N89°57'33"W
(C1)			(193.34')			(191.04')		
	ROW	360.68'	19.26'	S88°30'40"W	19.26'	03°03'34"		
	44	360.68'	122.78'	S77°13'45"W	122.19'	19°30'16"		
	59	360.68'	51.21'	S63°24'34"W	51.17'	08°08'05"		
C2		684.73'	190.09'	S67°17'43"W	189.48'	15°54'22"	S75°14'54"W	S59°20'32"W
(C2)			(189.58')			(188.98')		
	ROW	684.73'	46.73'	S61°17'51"W	46.73'	03°54'38"		
	3	684.73'	143.36'	S69°15'02"W	143.09'	11°59'44"		
C3		47.00'	43.53'	S56°39'20"E	41.99'	53°04'01"	S30°07'20"E	S83°11'21"E
C4		113.00'	104.66'	N56°39'20"W	100.96'	53°04'01"	N83°11'21"W	N30°07'20"W
	9	113.00'	80.18'	N50°27'00"W	78.51'	40°39'20"		
	OL 1	113.00'	24.48'	N76°59'00"W	24.43'	12°24'41"		
C5		353.00'	189.29'	S74°40'45"W	187.03'	30°43'24"	S59°19'03"W	N89°57'33"W
	14	353.00'	43.82'	S86°29'06"W	43.79'	07°06'42"		
	13	353.00'	93.38'	S75°21'02"W	93.11'	15°09'26"		
	12	353.00'	52.09'	S63°32'41"W	52.04'	08°27'16"		
C6		287.00'	153.90'	S74°40'45"W	152.06'	30°43'24"	S59°19'03"W	N89°57'33"W
	50	287.00'	32.79'	S86°46'03"W	32.77'	06°32'47"		
	51	287.00'	60.41'	S77°27'51"W	60.30'	12°03'38"		
	52	287.00'	60.69'	S65°22'33"W	60.58'	12°06'59"		

SURVEYOR'S CERTIFICATE

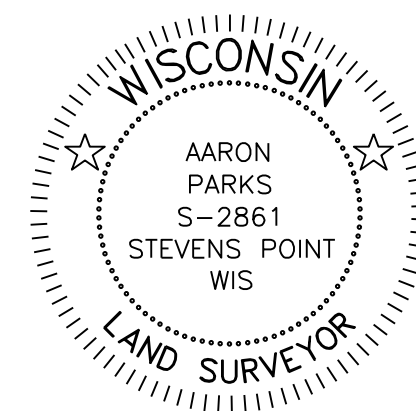
I, AARON PARKS, PROFESSIONAL LAND SURVEYOR S-2861, DO HEREBY CERTIFY THAT UNDER THE DIRECTION OF MIKE WIZA, MAYOR OF THE CITY OF STEVENS POINT, I HAVE SURVEYED, DIVIDED, AND MAPPED FOREST CREEK SUBDIVISION, BEING ALL OF LOT 2 OF CERTIFIED SURVEY MAP #4939-17-194, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, AND ALL OF OUT LOT 1 OF CERTIFIED SURVEY MAP #011720, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, ALL IN SECTION 26, T24N, R8E, CITY OF STEVENS POINT, PORTAGE COUNTY, WISCONSIN.

THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE PROVISIONS OF THE SUBDIVISION ORDINANCE OF THE CITY OF STEVENS POINT, WISCONSIN, IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS 28TH DAY OF MAY, 2024.

AARON PARKS
PROFESSIONAL LAND SURVEYOR S-2861



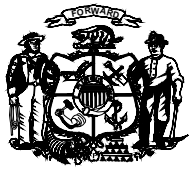
PREPARED BY:
AARON PARKS, PLS #2861
GREMMER & ASSOCIATES, INC.
120 WILSHIRE BLVD. NORTH
STEVENS POINT, WI 54481
PHONE (715)341-4363



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



FOREST CREEK SUBDIVISION

A SUBDIVISION PLAT OF FOREST CREEK SUBDIVISION, BEING ALL OF LOT 2 OF CERTIFIED SURVEY MAP #4939-17-194, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, AND ALL OF OUT LOT 1 OF CERTIFIED SURVEY MAP #011720, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, ALL IN SECTION 26, TOWNSHIP 24 NORTH, RANGE 8 EAST, TOWN OF HULL, PORTAGE COUNTY, WISCONSIN.

SURVEYOR'S CERTIFICATE

I, AARON PARKS, PROFESSIONAL LAND SURVEYOR S-2861, DO HEREBY CERTIFY THAT UNDER THE DIRECTION OF MIKE WIZA, MAYOR OF THE CITY OF STEVENS POINT, I HAVE SURVEYED, DIVIDED, AND MAPPED FOREST CREEK SUBDIVISION, AND THAT SUCH PLAT CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES AND THE SUBDIVISION OF THE LAND SURVEYED, BEING ALL OF LOT 2 OF CERTIFIED SURVEY MAP #4939-17-194, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 AND IN THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, AND ALL OF OUT LOT 1 OF CERTIFIED SURVEY MAP #011720, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, ALL IN SECTION 26, T24N, R8E, CITY OF STEVENS POINT, PORTAGE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 26, T24N, R8E;
THENCE S89°57'35"W, ALONG THE EAST-WEST QUARTER LINE OF SAID SECTION 26, 22.36 FEET, TO THE EXISTING WEST RIGHT OF WAY LINE OF BRILOWSKI ROAD, ALSO THE POINT OF BEGINNING;
THENCE S00°00'58"E, ALONG THE SAID EXISTING WEST RIGHT OF WAY LINE, 330.45 FEET, TO THE NORTHEAST CORNER OF LOT 3 OF CERTIFIED SURVEY MAP #4939-17-194;
THENCE S89°54'33"W, ALONG THE NORTH LINE OF SAID LOT 3, 140.48 FEET;
THENCE S00°03'00"E, ALONG THE WEST LINE OF SAID LOT 3, 281.81 FEET, TO THE EXISTING NORTH RIGHT OF WAY LINE OF GOLLA ROAD;
THENCE N89°57'33"W, ALONG THE SAID EXISTING NORTH RIGHT OF WAY LINE, 668.30 FEET;
THENCE ALONG SAID EXISTING NORTH RIGHT OF WAY, SOUTHWESTERLY 193.32 FEET ALONG THE ARC OF A 360.68 FOOT RADIUS CURVE, CENTER WHICH LIES SOUTHERLY, A CHORD WHICH BEARS S74°43'34"W, A DISTANCE OF 191.01 FEET;
THENCE S59°20'32"W, 214.55 FEET ALONG SAID EXISTING NORTHERLY RIGHT OF WAY LINE;
THENCE ALONG SAID EXISTING NORTHERLY RIGHT OF WAY, SOUTHWESTERLY 190.58 FEET ALONG THE ARC OF A 684.73 FOOT RADIUS CURVE, CENTER WHICH LIES NORTHERLY, A CHORD WHICH BEARS S67°16'14"W, A DISTANCE OF 189.97 FEET;
THENCE S75°14'54"W, ALONG SAID EXISTING NORTHERLY RIGHT OF WAY LINE, 265.08 FEET, TO THE SOUTHEAST CORNER OF SECOND ADDITION TO MAPLE BLUFF SUBDIVISION, AS RECORDED IN THE PORTAGE COUNTY REGISTER OF DEEDS OFFICE AS DOCUMENT #273512;
THENCE N00°23'37"W, ALONG THE EAST LINE OF SAID SUBDIVISION, 911.50 FEET, TO THE EAST-WEST QUARTER LINE OF SECTION 26;
THENCE N89°57'35"E, 1615.08 FEET ALONG SAID EAST-WEST QUARTER LINE TO THE POINT OF BEGINNING.
SAID PARCEL CONTAINS 24.639 ACRES, MORE OR LESS.

THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL OF THE EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION THEREOF MADE.

THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236 OF THE WISCONSIN STATUTES AND THE PROVISIONS OF THE SUBDIVISION ORDINANCE OF THE CITY OF STEVENS POINT, WISCONSIN, IN SURVEYING, DIVIDING AND MAPPING THE SAME.

DATED THIS 28TH DAY OF MAY, 2024.

AARON PARKS
PROFESSIONAL LAND SURVEYOR S-2861



CORPORATE OWNER'S CERTIFICATE OF DEDICATION

CITY OF STEVENS POINT, A MUNICIPAL CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, AS OWNER, DO HEREBY CERTIFY THAT SAID CORPORATION CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED ON THIS PLAT.

CITY OF STEVENS POINT, DOES FURTHER CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

STATE OF WISCONSIN DEPARTMENT OF ADMINISTRATION
CITY OF STEVENS POINT

IN WITNESS WHEREOF, THE SAID CITY OF STEVENS POINT, HAS CAUSED THESE PRESENTS TO BE SIGNED BY MIKE WIZA, ITS MAYOR, AND ATTESTED BY KARI YENTER, ITS CLERK, AT STEVENS POINT, WISCONSIN, AND ITS CORPORATE SEAL TO BE HEREUNTO AFFIXED ON THIS _____, DAY OF _____, 2024.

IN THE PRESENCE OF:

MIKE WIZA MAYOR

STATE OF WISCONSIN)
) SS
PORTAGE COUNTY)

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2024, MIKE WIZA, MAYOR, AND KARI YENTER, CLERK, OF THE ABOVE NAMED CORPORATION, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT, AND TO ME KNOWN TO BE SUCH MAYOR AND CLERK OF SAID CORPORATION, AND ACKNOWLEDGED THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS SUCH OFFICER AS THE DEED OF SAID CORPORATION, BY ITS AUTHORITY.

NOTARY PUBLIC, _____, WISCONSIN
MY COMMISSION EXPIRES _____.

COMMON COUNCIL RESOLUTION

RESOLVED, THAT THE PLAT OF FOREST CREEK SUBDIVISION IN THE CITY OF STEVENS POINT, CITY OF STEVENS POINT, OWNER, IS HEREBY APPROVED BY THE COMMON COUNCIL.

APPROVED IN ACCORDANCE WITH THE CITY OF STEVENS POINT SUBDIVISION ORDINANCE THIS _____ DAY OF _____, 2024.

APPROVED BY _____
MIKE WIZA, MAYOR

I HEREBY ATTEST, THAT THE FOREGOING IS A COPY OF A RESOLUTION ADAPTED BY THE COMMON COUNCIL OF THE CITY OF STEVENS POINT.

ATTESTED BY _____
KARI YENTER, CLERK

CITY CLERK'S CERTIFICATE

STATE OF WISCONSIN)
) SS
PORTAGE COUNTY)

I, KARI YENTER, BEING THE DULY APPOINTED, QUALIFIED AND ACTING CITY CLERK OF THE CITY OF STEVENS POINT, DO HEREBY CERTIFY THAT COPIES OF FOREST CREEK SUBDIVISION WERE FORWARDED ON THE _____ DAY OF _____, 2024 AS REQUIRED BY S. 236.12 (4) AND THAT NO OBJECTIONS TO THE PLAT HAVE BEEN FILED WITHIN THE 20-DAY LIMIT SET BY SUB. (3) OR, IF FILED, HAVE BEEN MET.

DATE _____ KARI YENTER, CLERK

CITY TREASURER'S CERTIFICATE

STATE OF WISCONSIN)
) SS
PORTAGE COUNTY)

I, COREY LADICK, BEING THE DULY ELECTED, QUALIFIED AND ACTING TREASURER OF THE CITY OF STEVENS POINT, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR SPECIAL ASSESSMENTS AS OF _____, 2024, AFFECTING THE LANDS INCLUDED IN THE PLAT OF FOREST CREEK SUBDIVISION.

DATE _____ COREY LADICK, CITY TREASURER

COUNTY TREASURER'S CERTIFICATE

STATE OF WISCONSIN)
) SS
PORTAGE COUNTY)

I, PAMELA PRZYBELSKI, BEING THE DULY ELECTED, QUALIFIED AND ACTING TREASURER OF THE COUNTY OF PORTAGE, DO HEREBY CERTIFY THAT THE RECORDS IN MY OFFICE SHOW NO UNREDEEMED TAX SALES AND NO UNPAID TAXES OR SPECIAL ASSESSMENTS AS OF _____, 2024 AFFECTING THE LANDS INCLUDED IN THE PLAT OF FOREST CREEK SUBDIVISION.

DATE _____ PAMELA PRZYBELSKI, COUNTY TREASURER

UTILITY EASEMENT PROVISIONS

AN EASEMENT FOR ELECTRIC, NATURAL GAS AND COMMUNICATIONS SERVICE IS HEREBY GRANTED BY:

THE CITY OF STEVENS POINT, GRANTOR, TO

WISCONSIN PUBLIC SERVICE CORPORATION, A WISCONSIN CORPORATION, GRANTEE,
AT&T TELECOMMUNICATIONS COMPANY, GRANTEE,
CHARTER COMMUNICATIONS/SPECTRUM TELECOMMUNICATIONS COMPANY, GRANTEE AND
TDS METROCOM, GRANTEE

THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO CONSTRUCT, INSTALL, OPERATE, REPAIR, MAINTAIN AND REPLACE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND ELECTRIC ENERGY, NATURAL GAS, TELEPHONE, CABLE TV AND FIBER OPTIC FACILITIES FOR SUCH PURPOSE AS THE SAME IS NOW OR MAY HEREAFTER BE USED, ALL IN, OVER, UNDER, ACROSS, ALONG AND UPON THE PROPERTY SHOWN WITHIN THOSE AREAS ON THE PLAT DESIGNATED AS "UTILITY EASEMENT" AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHT TO INSTALL SERVICE CONNECTIONS UPON, ACROSS, WITHIN AND BENEATH THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS, THEREON, OR ON ADJACENT LOTS; ALSO THE RIGHT TO TRIM OR CUT DOWN TREES, BRUSH AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENTAL TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. THE GRANTEEES AGREE TO RESTORE OR CAUSE TO HAVE RESTORED, THE PROPERTY, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO SUCH ENTRY BY THE GRANTEEES OR THEIR AGENTS. THIS RESTORATION, HOWEVER, DOES NOT APPLY TO THE INITIAL INSTALLATION OF SAID UNDERGROUND AND/OR ABOVE GROUND ELECTRIC FACILITIES, NATURAL GAS FACILITIES, TELEPHONE AND CABLE TV FACILITIES OR FIBER OPTIC FACILITIES OR TO ANY TREES, BRUSH OR ROOTS WHICH MAY BE REMOVED AT ANY TIME PURSUANT TO THE RIGHTS HEREIN GRANTED. STRUCTURES SHALL NOT BE PLACED OVER GRANTEEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE LINES MARKED "UTILITY EASEMENT" WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED BY MORE THAN SIX INCHES WITHOUT WRITTEN CONSENT OF GRANTEEES. THIS UTILITY EASEMENT PROVISION DOES NOT PREVENT OR PROHIBIT OTHERS FROM UTILIZING OR CROSSING THE UTILITY EASEMENT AS THE UTILITY EASEMENT(S) ARE NON-EXCLUSIVE.

THE GRANT OF EASEMENT SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE HEIRS, SUCCESSORS AND ASSIGNS OF ALL PARTIES HERETO.

DEVELOPER/OWNER:
CITY OF STEVENS POINT
1515 STRONGS AVENUE
STEVENS POINT, WI 54481

PREPARED BY:
AARON PARKS, PLS #2861
GREMMER & ASSOCIATES, INC.
120 WILSHIRE BLVD. NORTH
STEVENS POINT, WI 54481
PHONE (715)341-4363





TO: City Plan Commission

FROM: Ryan Kernosky, Director of Community Development

DATE: May 6, 2024

RE: **Preliminary Plat Review – Forest Creek Subdivision**

Commissioners –

Last month the Plan Commission held a public hearing for a Preliminary Plat of the Forest Creek Subdivision. Twenty-five members of the public spoke regarding the plat and expressed concern over several items. The Commission also expressed concern over the following:

- 1) Density
- 2) Lost Creek Maintenance
- 3) Greenspace & Parkland
- 4) Pedestrian/Bicycle safety
- 5) School District Capacity

City staff worked with Gremmer & Associates to address many of these concerns. I've outlined the changes from the April Plat to the Plat before you this evening.

Density

	April Plat	May Plat
Single-Family Parcel	52	46
Zero Lot Line Parcel	20	14
Total	72	60
Density Per Acre	2.92 units/acre	2.43 units/acre

To accommodate the planned outlot (discussed in the next section), City staff shifted the unnamed road 35' south from the April Plat to the May Plat, this caused 'compression' with several lots on the southside of the unnamed road, and resulted in the loss of six zero lot line units. Additionally, there was concern over the number of potential driveways on Golla Road – as a result, the City reduced the number of single-family parcels from 18 to 11. There were also some minor lot changes to accommodate larger lots throughout, as requested by the neighborhood and plan

commission. In general, the single-family parcels are larger than previously proposed, and the zero-lot-line parcels are smaller than previously proposed.

Lost Creek Maintenance

Several members of the public spoke concerning the existing Lost Creek and the ability for an existing group to access the creek for maintenance if needed. The City is proposing two outlots that are ~65' from the centerline of the creek, 15' larger than what was originally requested by the Attorney representing the easement grantors had originally requested. This allows for adequate access to the creek for maintenance, and also allows the City to construct a pedestrian path along the southside of the creek bank to address pedestrian/bicycle concerns. With the proposed Joe Street extending to the north lot line, expanding the outlot along Maple Bluff Rd, and continued access off of Brilowski Rd, there should be adequate access to ensure the spirit of the easement is met.

Green Space & Parkland

With the creation of the outlots and the establishment of the pedestrian path along the southside of the creek bank, the area will be preserved as natural green space as requested by the neighborhood. The City could dedicate this as park land, or we could create a conservation easement over the outlots to ensure conservation in perpetuity for the neighborhood. By having the pedestrian path, this allows the public easier access to Lost Creek and the natural amenities that exist in the area.

Pedestrian and Bicycle Safety

As mentioned previously, a planned pedestrian path along the southside of the creek bank is planned. Additionally, easements are created along Brilowski Road for a future pedestrian path. The City will also install sidewalks along the northside of Golla Road for the neighborhood to use for walking.

School District Capacity

The Plan Commission inquired whether or not the school district has capacity to take on additional students in the district. In short, the District does not have immediate concerns about capacity. If families move into the development, a wide range of ages and educational needs will occur. If the development is completed over five years, as expected, there will be no capacity issues.

Conclusion

There is no formal public hearing this evening, as that requirement has been met. I believe that the City has addressed the concerns of the neighborhood and would encourage the commission to recommend approval as presented. Please reach out with any questions.

Administrative Staff Report

Rezone to “R-3” Single- and Two-Family Residence District

5498 Golla Road

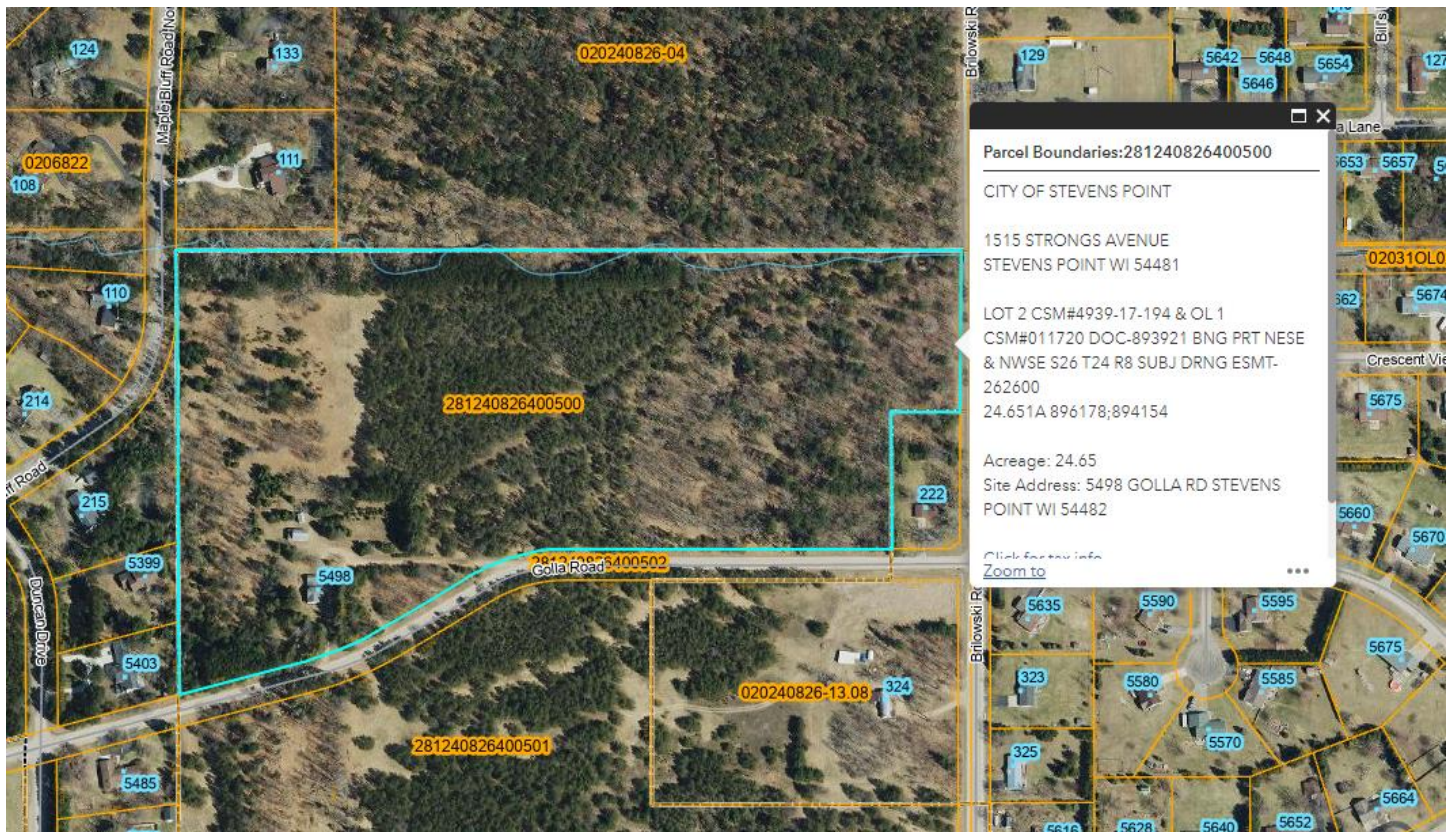
June 3, 2024



Department of Community
Development

Applicant(s): - City of Stevens Point Staff: - Adam Kuhn, Associate Planner akuhn@stevenspoint.com Parcel Number(s): 281240826400500 Zone(s): “R-LD” Low Density Residence District Master Plan: - Residential Council District: - District 7 Ald. Kneebone Current Use: - Undeveloped	Request - Public Hearing and action on a request from the City of Stevens Point to rezone the property located at 5498 Golla Road (Parcel ID 281240826400500) from the “R-LD” Low Density Residence District to the “R-3” Single- and Two-Family Residence District. Attachment(s) - Application - Plans Findings of Fact - The subject property was annexed into the City in February of 2024. - When parcels are annexed into City limits, said parcels are automatically zoned “R-LD” Low Density Residential until a permanent zoning designation is approved by the Common Council. - The subject property is proposed to be platted into a 60-lot subdivision. - City staff is requesting a permanent zoning designation of “R-3” Single- and Two-Family Residential. Staff Recommendation Approve the request to rezone the property located at 5498 Golla Road (Parcel ID 281240826400500) from the “R-LD” Low Density Residence District to the “R-3” Single- and Two-Family Residence District.
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Vicinity Map



Background

Overview: The applicant is currently pursuing a final subdivision plat for a proposed 60-lot subdivision located north of Golla Road and west of Brilowski Road. The current zoning of the subject parcel is “R-LD” Low Density Residential. This zoning designation was temporarily assigned as of February 23, 2024 when the subject parcel was annexed into City limits. Consistent with the City’s Zoning Code, annexed land is temporarily zoned “R-LD” Low Density Residential until a permanent zoning designation is approved. As part of the June Plan Commission meeting, City staff are requesting a permanent zoning designation of “R-3” Single- and Two-Family Residential.

The review criteria for considering a rezoning request are identified below.

“R-3” SINGLE AND TWO FAMILY RESIDENCE DISTRICT:

USE	LOT AREA AND DENSITY	LOT WIDTH	HEIGHT OF STRUCTURE	SIDE YARD	STREET SETBACK	REAR YARD	PARKING	AREA OF STRUCTURE	MIN. BLDG. WIDTH
Permitted Uses	1 family/lot 1 unit/lot, provided lot is 5,000 sq. ft.	45 ft.	Not over 35 ft. Nor over 2 ½ stories	Minimum of 7 ½' on each side for buildings not over 2 ½ stories	25 ft. On corner lots with 50' of frontage and less, street setback 25' and 20'	Not less than 20% of lot depth, but not less than 15 ft. And need not exceed 30 ft.	Per 23.01(14)	900 sq. Ft.	18 ft.
Single Family Dwellings									
Two Family Dwellings	2 attached units per lot								
Zero Lot Line - Common wall	provided lot is 10,000 sq. ft. 1 family/lot 1 unit/lot provided lot is 5,000 sq. ft.								
All other permitted uses	5,000 sq. Ft.		35 ft.	15 ft.		30 ft.		0	
Conditional Uses:									
Single Family Zero Lot Line Dwellings	1 family/lot 1 unit/lot provided lot is 5,000 sq. ft.	45 ft	Not over 35 ft. Nor over 2 ½ stories	Per. 23.02(c)4.a		Not less than 20% of lot depth, but not less than 15 ft. And need not exceed 30 ft.			
All other conditional uses	As set by Plan Commission and City Council								

Findings: Each of the proposed parcels meets the minimum lot size (5,000 sq ft) and lot width (45 ft) requirement. As each proposed parcel is undeveloped, the above setback requirements, parking, primary structure size and minimum building width would not apply. Please note that during the subdivision plat process, the above performance standards were taken into account to ensure that each proposed lot provided enough buildable area. Staff believes that this standard is met.

2. The change in zoning is consistent with the City’s Comprehensive Plan.

Analysis: The City’s Extraterritorial Future Land Use Map identifies the subject property for residential uses. A ‘residential’ designation, per the City’s Comprehensive Plan, includes both single- and two-family residential uses.

Findings: The proposed zoning change to the “R-3” District would be consistent with the City’s Comprehensive Plan. The intent of the “R-3” District is, in part, to provide for both single- and two-family residences. While

some of the proposed lots would not meet the minimum 10,000 square foot lot size requirement for duplexes, the larger lot sizes provide flexibility for prospective builders as to the size and type of residence that they seek to construct.

3. The change in zoning will not create adjacent incompatible uses.

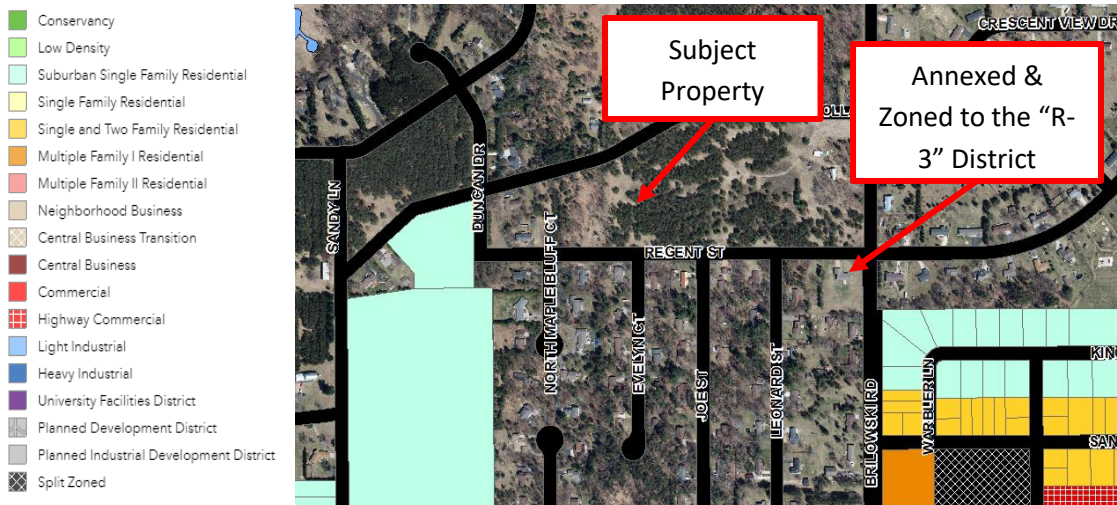
Analysis: The subject property is surrounded by residential land uses. For nearby lots that are within City limits, said lots are zoned either “R-1” Suburban Single-Family or “R-3” Single- and Two-Family Residential. The following provides the purpose statement of adjacent zoning classifications.

“R-1” Suburban Single-Family Residence District

This district is established to provide for neighborhoods of moderate density single family residential land usage and accessory uses. This district is to be located consistent with the City's Comprehensive Plan.

“R-3” Single- and Two-Family Residence District

This district is established to provide for both single family residences and two family residences intended particularly to act as a transition district between lower intensity uses such as permitted in "C", "R-1" and "R-2" districts and higher intensity districts, consistent with the City's Comprehensive Plan. This district is intended to be provided for all lands where sewer and water is or will be required.





APPLICATION FOR A ZONING MAP AMENDMENT - REZONING

(Pre-Application Conference Required)

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted		Fee Required		Fee Paid	
Associated Applications if Any				Assigned Case Manager			
Pre-Application Conference Date							

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? ☐)	
Applicant Name		Contact Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

OWNERSHIP INFORMATION

PROPERTY OWNER 1 INFORMATION (Same as Applicant? ☐)		PROPERTY OWNER 2 INFORMATION (If Needed)	
Owner's Name		Owner's Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]					
Parcel 1		Parcel 2		Parcel 3	
Legal Description of Subject Property					
Area of Subject Property (Acres/Sq Ft)			Area of Requested Rezoning (Acres/Sq Ft)		
Designated Future Land Use Category		Current Use of Property		Proposed Use of Property	
Current Zone District			Proposed Zone District		

Reason for the zone change request			
Land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)			
Current Zoning Surrounding Subject Property			
North:		South:	
East:		West:	
Current Land Use Surrounding Subject Property			
North:		South:	
East:		West:	
Is the proposed zoning map amendment consistent with the Comprehensive Plan? If so how?			

EXHIBITS

Owner Information Sheet	☐	Additional Exhibits If Any:
Letter to District Alderperson	☐	
Maps (vicinity, zoning, floodplains, wetlands others as requested by staff)	☐	

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner(s)	Date
			



MEMORANDUM

To: Plan Commission

From: Adam Kuhn, AICP
Associate Planner / Zoning Administrator

Date: June 3, 2024

RE: **Annexation Request – Brilowski Road and Old Highway 18**

Background: The City is requesting the annexation of five parcels, as identified below, from the Town of Hull into the City of Stevens Point. The annexation area is predominately used for agricultural purposes, except for some forested areas and road right-of-way (i.e., Old Highway 18). There is no planned development at this time as part of this annexation request.

There are six types of annexation requests and are as follows:

- Annexation by Unanimous Approval
- Annexation by One-Half Approval
- Annexation by Referendum
- Annexation by City or Village Initiated Referendum
- Annexation of Town Islands
- **Annexation of Territory Owned by a City or Village**

The aforementioned parcels are all under City ownership. Unlike other means of annexation, State Statutes provides different requirements for the annexation of municipal-owned land. As outlined within Wis. Stats. 66.0223, the process to annex territory owned by a city is the following:

66.0223 Annexation of territory owned by a city or village.

- (1) In addition to other methods provided by law and subject to sub. (2) and ss. [66.0301 \(6\) \(d\)](#) and [66.0307 \(7\)](#), territory owned by and lying near but not necessarily contiguous to a village or city may be annexed to a village or city by ordinance enacted by the board of trustees of the village or the common

www.stevenspoint.com

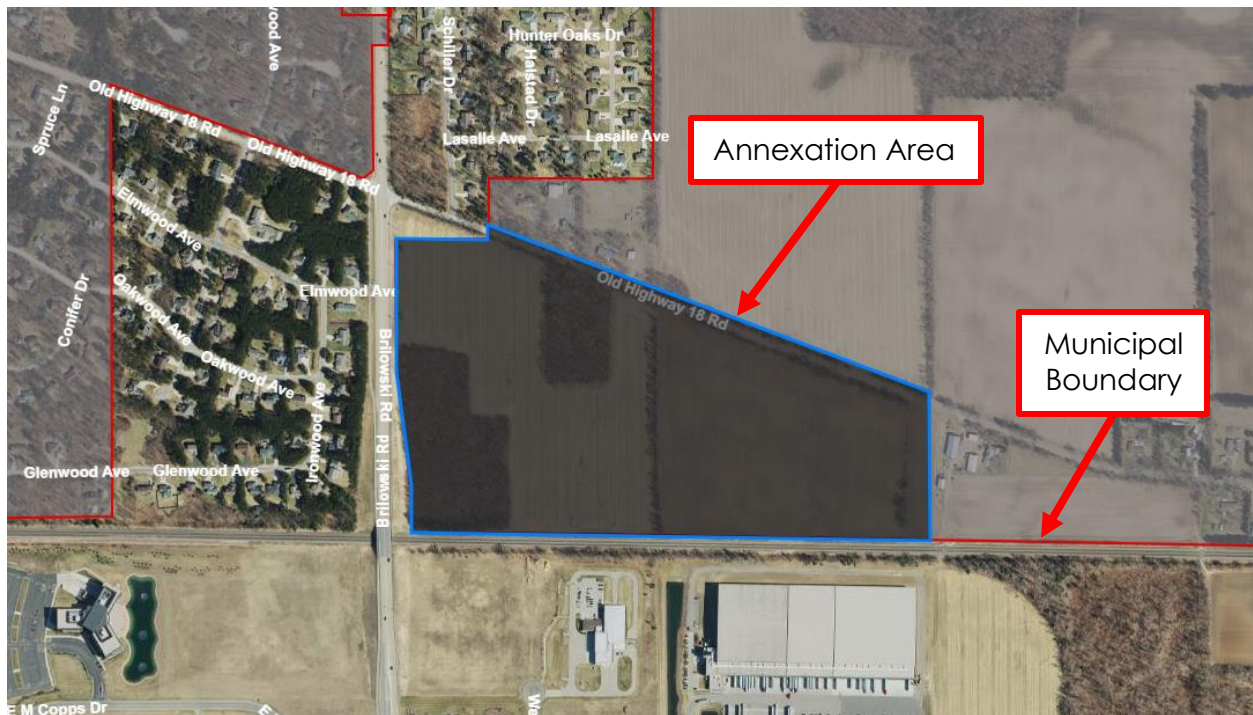
Open Records Rider: The City of Stevens Point is subject to Wisconsin Statutes relating to public records. Communication, such as this document, sent or received by City employees are subject to these laws. Unless otherwise exempted from the public records law, senders and receivers of City communication should presume that the communications are subject to release upon request, and to state record retention requirements.

council of the city, provided that in the case of noncontiguous territory the use of the territory by the city or village is not contrary to any town or county zoning regulation. The ordinance shall contain the exact description of the territory annexed and the names of the towns from which detached, and attaches the territory to the village or city upon the filing of 7 certified copies of the ordinance with the secretary of administration, together with 7 copies of a plat showing the boundaries of the territory attached. The city or village shall also file with the county clerk or board of election commissioners the report required by s. [5.15 \(4\) \(b\)](#). Two copies of the ordinance and plat shall be forwarded by the secretary of administration to the department of transportation, one copy to the department of administration, one copy to the department of natural resources, one copy to the department of revenue and one copy to the department of public instruction. Within 10 days of filing the certified copies, a copy of the ordinance and plat shall be mailed or delivered to the clerk of the county in which the annexed territory is located. Sections [66.0203 \(8\) \(c\)](#) and [66.0217 \(11\)](#) apply to annexations under this section.

- (2) No territory may be annexed by a city or village under this section if no part of the city or village is located in the same county as the territory that is subject to the proposed annexation unless all of the following occur:
- (a) The town board adopts a resolution approving the proposed annexation.
 - (b) The county board of the county in which the territory is located adopts a resolution approving the proposed annexation.
 - (c) The city or village, and the town, enter into a boundary agreement under s. [66.0225](#), [66.0301](#), or [66.0307](#).

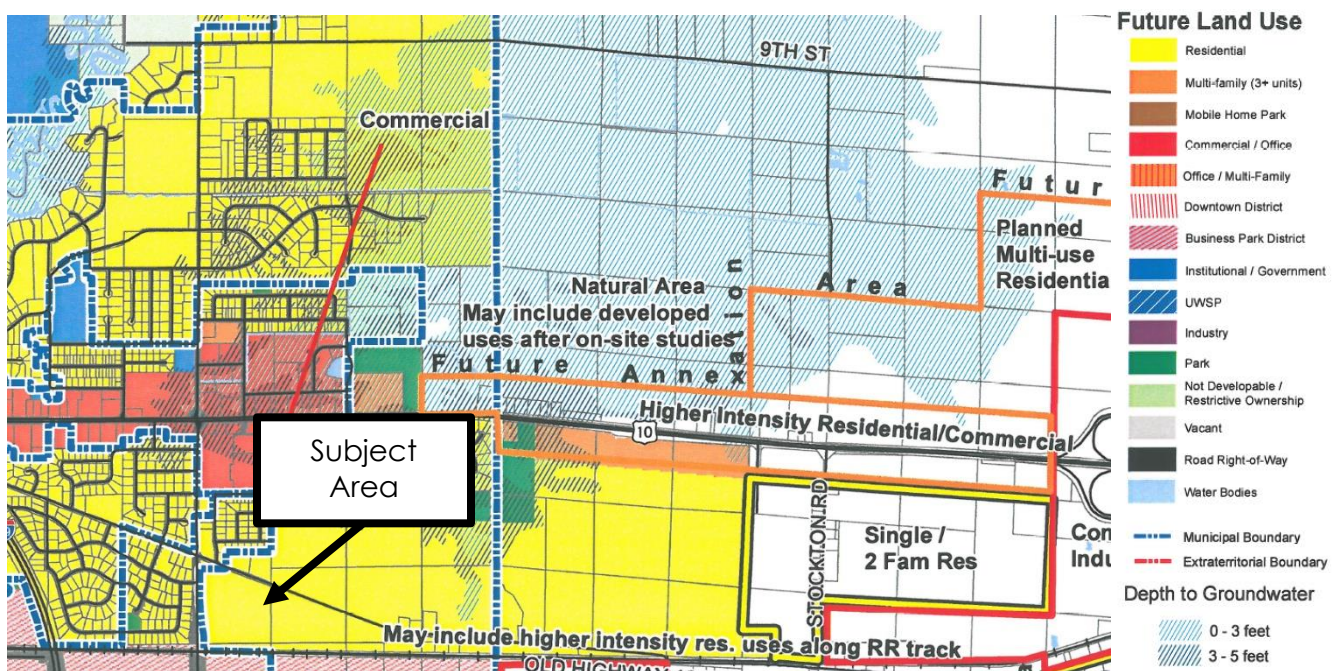
Further information on this request is outlined below.

Map of the Annexation Area:



Wis. Stats. requires the Plan Commission to make a recommendation to the Common Council on any annexation request. Should this Commission and the Common Council approve the annexation request, Section 23.01(13)(8) of the City's Zoning Code would require all parcels to be temporarily zoned "R-LD" Low Density Residential until the Council adopts a permanent zoning classification for each parcel. City staff is planning to request a zoning designation of "R-3" Single- and Two-Family Residential for all parcels except for the Old Highway 18 Right-of-Way. This request is tentatively planned to go before the Plan Commission for consideration on July 1st.

Stevens Point Comprehensive Plan – Extraterritorial Future Land Use Map



While the annexation area is zoned for industrial land uses (through the Portage County Planning & Zoning Department), the City's Extraterritorial Future Land Use Map has identified this area for residential purposes. Please note that this 'residential' land use designation includes both single- and two-family residential uses. All parcels to the north, east and west have an identical future land use designation, while parcels to the south – located within the City's East Park Commerce Center – are identified for industrial uses. Additionally, the existing land uses that surround the annexation area are comparable with the desired uses as part of the City's Future Land Use Map. With a future rezoning of the annexation area to the "R-3" Single- and Two-Family Residence District, staff believes that it is compatible with adjacent uses and is consistent with the long-term development pattern in this area.

Given the above findings, the annexation seems fitting given the contiguous nature of the property with City limits. As this request entails the annexation of City-owned land, approval from the Wisconsin Department of Administration is not required.

Staff Recommendation: Staff recommends **APPROVAL** as presented.



APPLICATION FOR ANNEXATION

(Pre-Application Conference Required)

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted		Fee Required		Fee Paid	
Associated Applications if Any				Assigned Case Manager			
Pre-Application Conference Date				Annexation Request Type	Unanimous ☐	One-Half Approval ☐	By Referendum ☐

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? ☒)	
Applicant Name	City of Stevens Point	Contact Name	
Address	1515 Strong's Avenue	Address	
City, State, Zip	Stevens Point, WI 54481	City, State, Zip	
Telephone	715-346-1567	Telephone	
Fax		Fax	
Email		Email	

OWNERSHIP INFORMATION

PROPERTY OWNER 1 INFORMATION (Same as Applicant? ☒)		PROPERTY OWNER 2 INFORMATION (if Needed)	
Owner's Name		Owner's Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
Legal Description of Subject Property		
Parcels 020240836-11.01, 020230801-06.01, 020230801-05.01 and a portion of 020240836-12.		
Designated Future Land Use Category		Current Use of Property
Residential		Undeveloped
Explain the land use and the development proposed for the annexation property. Include the time schedule (if any) for development. (Use additional pages if necessary)		
A majority of the annexation area is utilized as farmland, while a minority is utilized for street right-of-way purposes (i.e., Old Highway 18). The purpose of this annexation request is to better encourage residential development when the opportunity arises.		
Is the proposed annexation consistent with the Comprehensive Plan? Please reference the Comprehensive Plan's Future Land Use Map and the Extraterritorial		

Land Use Map. (Use additional pages if necessary)			
The City's Extraterritorial Future Land Use Map identifies the annexation area for residential development. As the annexation area is intended to support residential development, this annexation request is consistent with the City's Comprehensive Plan.			
Is a permanent zoning classification being requested for the annexation territory? If yes, please state the proposed zoning classification and provide reasoning. (Use additional pages if necessary)			
Should the petition for annexation be approved, a request to rezone the annexation area to the "R-3" Single- and Two-Family Residence District will occur at a later month. Please note that this will not include the Old Highway 18 Right-of-Way. As the 'residential' future land use classification allows for both single- and two-family residential uses, which is a permitted use within the "R-3" District, the planning zoning classification would be consistent with long-term planning initiatives for this area.			
Current Zoning Surrounding Subject Property (City or County zoning)			
North:	"R-3" Suburban Single-Family Residential	South:	"PID" Planned Industrial Development
East:	Agricultural (County Zoning)	West:	"R-3" Suburban Single-Family Residential
Current Land Use Surrounding Subject Property			
North:	Single-family residential	South:	Industrial/Manufacturing
East:	Agricultural	West:	Single-family residential

EXHIBITS

Owner Information Sheet	☐	Additional Exhibits If Any:
Letter to District Alderperson	☐	
Site Map or Certified Survey Map (outlining annexation property and surrounding jurisdictions)	☐	
Signed Petition (signed by electors and property owners within the annexation area)	☐	

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

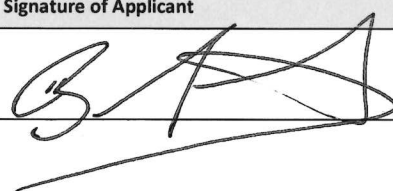
Signature of Applicant	Date	Signature of Property Owner(s)	Date
	3/24/24		

EXHIBIT 'A'

ANNEXATION LEGAL DESCRIPTION

Part of the Southwest Quarter of the Southwest Quarter and the Southeast Quarter of the Southwest Quarter of Section 36, Township 24 North, and part of the Fractional Northwest Quarter of the Northwest Quarter and the Fractional Northeast Quarter of the Northwest Quarter of Section 1, Township 23 North, all in Range 8 East, Town of Hull, Portage County, Wisconsin, more particularly described as follows:

Beginning at the south quarter corner of said Section 36; thence South 01 degree 03 minutes 04 seconds East along the east line of said Fractional Northeast Quarter of the Northwest Quarter of Section 1 a distance of 146.01 feet to the north right of way line of the Wisconsin Central Limited Railway (part of the Canadian National Railway); thence North 88 degrees 59 minutes 57 seconds West along said north right of way line 2,506.71 feet to the east right of way line of Brilowski Road; thence northwesterly along said east right of way line 220.83 feet along the arc of a 9,711.27 foot radius curve, not tangent with the last described course, center to the west, the chord bears North 00 degrees 53 minutes 44 seconds West 220.83 feet; thence continuing North 07 degrees 01 minutes 22 seconds West along said east right of way line 560.68 feet; thence continuing North 00 degrees 19 minutes 19 seconds West along said east right of way line 627.87 feet to the south line of the Northwest Quarter of the Southwest Quarter of said Section 36; thence North 89 degrees 36 minutes 32 seconds East along said south line 435.55 feet to the southwesterly right of way line of Old Highway 18; thence South 69 degrees 11 minutes 20 seconds East along said southwesterly right of way line 14.10 feet to the southerly extension of the east line of Lot 3 of Hunter Oaks Subdivision; thence North 00 degrees 11 minutes 54 seconds West along said southerly extension 70.70 feet to the northeasterly right of way line of said Old Highway 18; thence South 69 degrees 11 minutes 20 seconds East along said northeasterly right of way line 858.58 feet to the east line of the Southwest Quarter of the Southwest Quarter of said Section 36; thence South 67 degrees 33 minutes 20 seconds East 33.00 feet northeasterly of and parallel with the centerline of the traveled way (centerline of pavement October 26, 2022) of said Old Highway 18; thence southeasterly 33.00 feet northeasterly of and parallel with said centerline 832.94 feet along the arc of a 19,967.00 foot radius curve, tangent with the last described course, center to the northeast, the chord bears South 68 degrees 45 minutes 03 seconds East 832.88 feet; thence South 69 degrees 56 minutes 45 seconds East 33.00 feet northeasterly of and parallel with said centerline 357.36 feet to the east line of said Southeast Quarter of the Southwest Quarter of Section 36; thence South 00 degrees 22 minutes 35 seconds East along said east line 554.38 feet to the **point of beginning** and there terminating.

Said annexation contains 66.773 acres.

EXHIBIT 'B'

ANNEXATION MAP



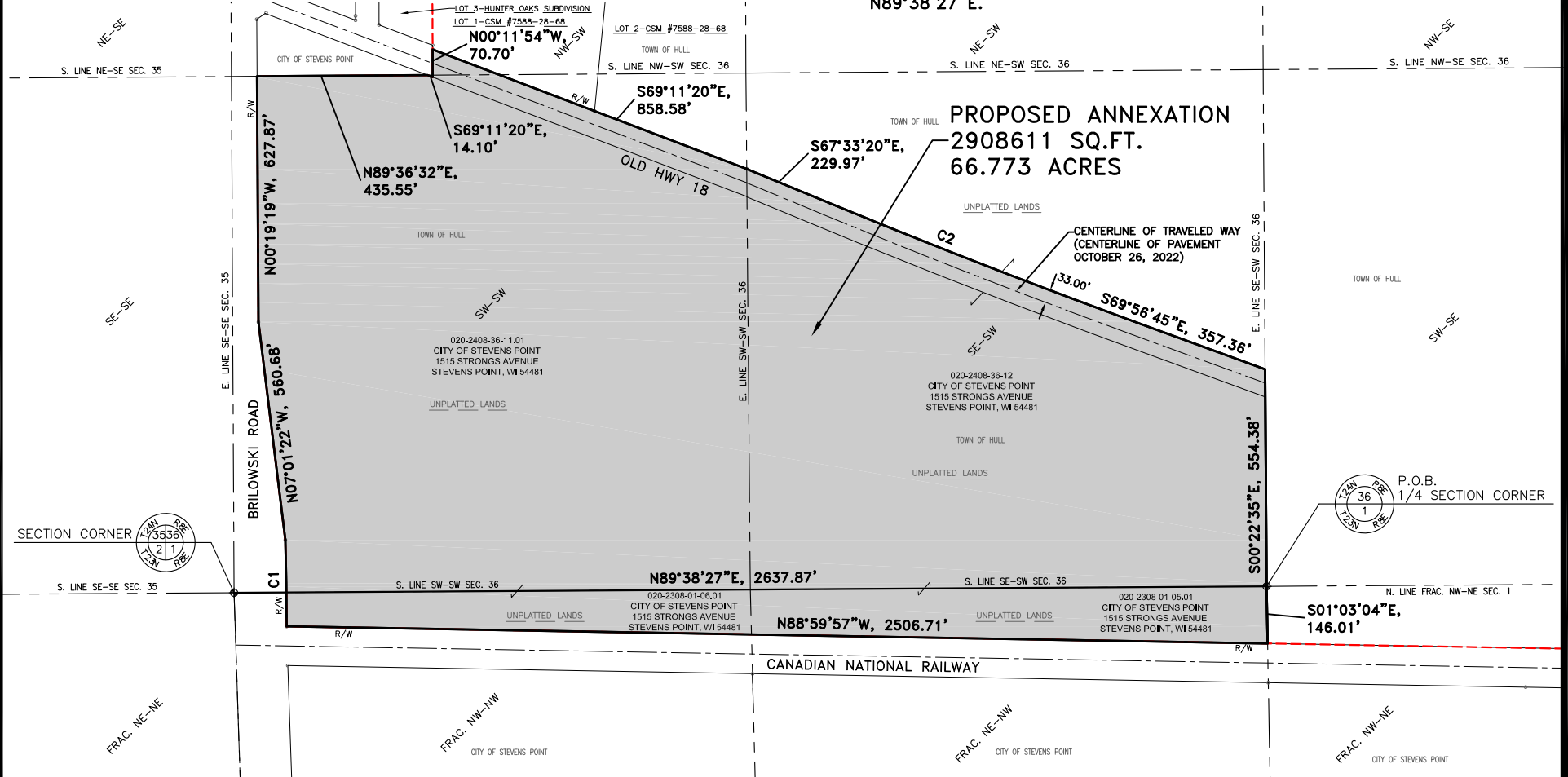
0' 200' 400'
1"=400'

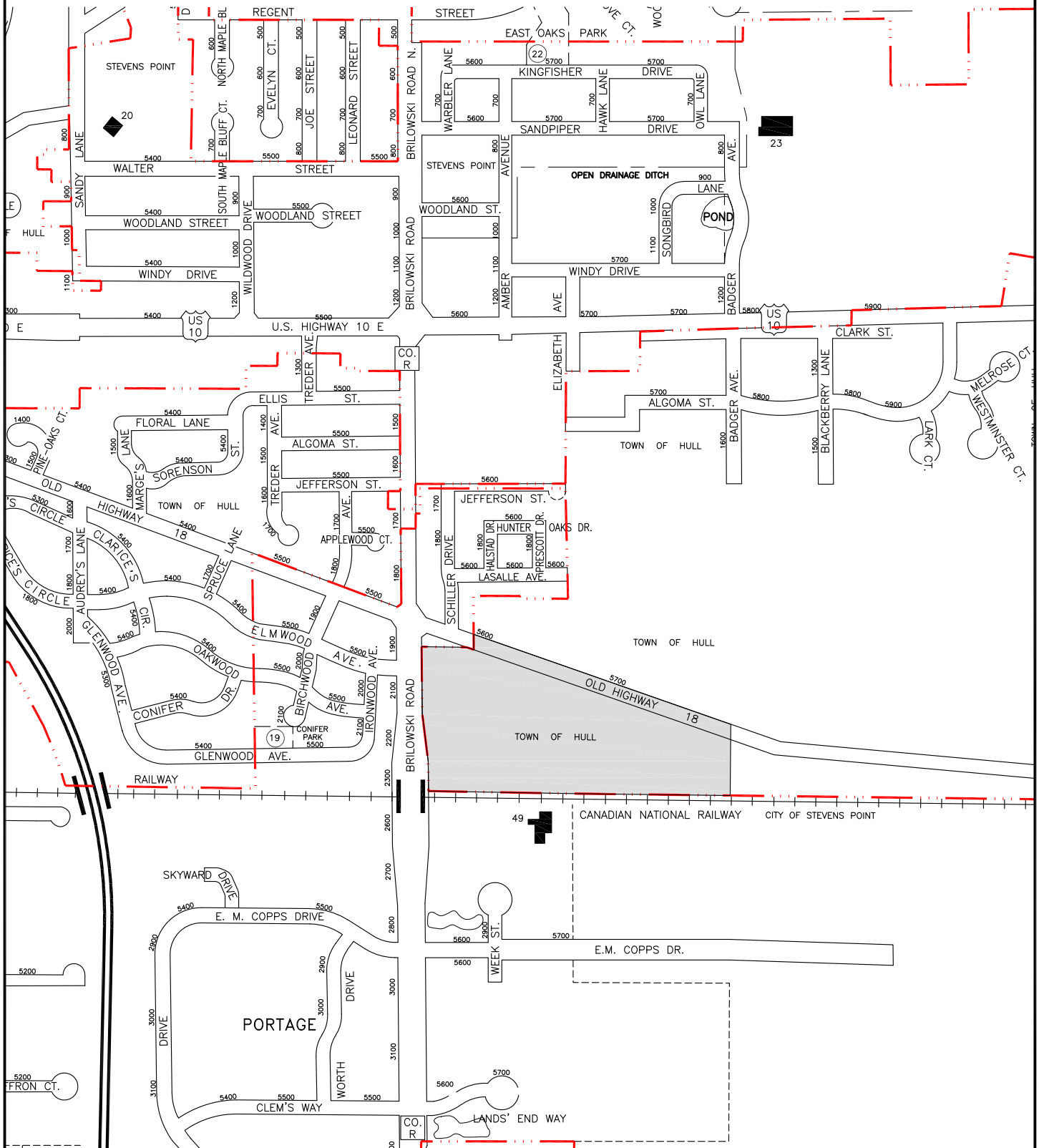
CURVE DATA

CURVE NO.	ARC LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH	TANGENT BEARING	TANGENT BEARING
C1	220.83'	9711.27'	001°18'10"	N00°53'44"W	220.83'	S01°32'49"E	S00°14'39"E
C2	832.94'	19967.00'	002°23'24"	S68°45'03"E	832.88'	N69°56'45"W	N67°33'20"W

BASIS FOR BEARING

THE BEARINGS HEREIN ARE REFERENCE TO WISCONSIN COUNTY COORDINATE SYSTEM-PORTAGE COUNTY-NAD 83. THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 36 BEARS N89°38'27"E.





AN ORDINANCE ANNEXING TERRITORY TO THE CITY OF STEVENS POINT

Right of way and unaddressed parcels along Old Highway 18 (PID.'s 020-2408-36-11.01, 020-2408-36-12, 020-2308-01-06.01, and 020-2308-01-05.01)

The Common Council of the City of Stevens Point, Portage County, Wisconsin, do ordain as follows:

Return to:
City of Stevens Point
City Clerk
1515 Strongs Avenue
Stevens Point, WI 54481

SECTION 1: Territory Annexed. Pursuant to Wis. Stat. §66.0223(1) the following described territory shall be detached from the Town of Hull, Portage County, Wisconsin and is annexed to the City of Stevens Point, Portage County, Wisconsin:

The land description is attached hereto as Exhibit 'A' and a scale Annexation Map is attached hereto as Exhibit 'B' and shall become a part of this ordinance.

SECTION II: Effect of Annexation. From and after the date of this ordinance, the territory described in Section I shall be a part of the City of Stevens Point for any and all purposes provided by law and all persons coming or residing within such territory shall be subject to all ordinances, rules and regulations governing the City of Stevens Point and school district.

SECTION III: Zoning Classification. All such land being annexed to the City of Stevens Point shall be temporarily designated "RLD" Residential Low Density District for zoning purposes. Permanent zoning shall be approved by the Common Council of the City of Stevens Point.

SECTION IV: State Legislative, County Supervisory, and City Aldermanic District Designation. The territory described in Section 1 lying in the **Town of Hull** shall remain a part of the 24th State Senate District, remain a part of the 71st State Assembly District, shall become a part of the 7th County Board Supervisory District, become a part of the 6th Aldermanic District, and shall become a part of the 17th Ward of the City of Stevens Point subject to the ordinances, rules and regulations of the City, County, and State governing districts.

SECTION V: Population. The population of the annexed territory is zero (0).

SECTION VI: Severability. If any provision of this ordinance is invalid or unconstitutional or if the application of this ordinance to any person or circumstance is invalid or unconstitutional, such invalidity or unconstitutionality

shall not affect any provisions or application of this ordinance which can be given effect without the invalid or unconstitutional provision or application.

SECTION VII: Tax Payment. Pursuant to Wis. Stat. §66.0217 (14) the City of Stevens Point shall pay annually to the Town of Hull for a period of five years, an amount equal to the amount of property taxes that the Town levied for municipal purposes on the annexed territory, as shown by the tax roll under Wis. Stat. §70.65, in the year in which the annexation is final.

SECTION VIII: Review. The annexation of City-owned property is not subject to review by the Department of Administration pursuant to Wis. Stat. §66.0223.

SECTION IX: Effective Date. This ordinance shall take effect upon passage and publication as provided by law.

APPROVED: _____
Mike Wiza, Mayor

ATTEST: _____
Kari Yenter, City Clerk

Dated: May 18, 2024

Adopted: June 17, 2024

Published: June 27, 2024

This instrument drafted by:
Pat Fuehrer
Engineering Division
City of Stevens Point

Administrative Staff Report

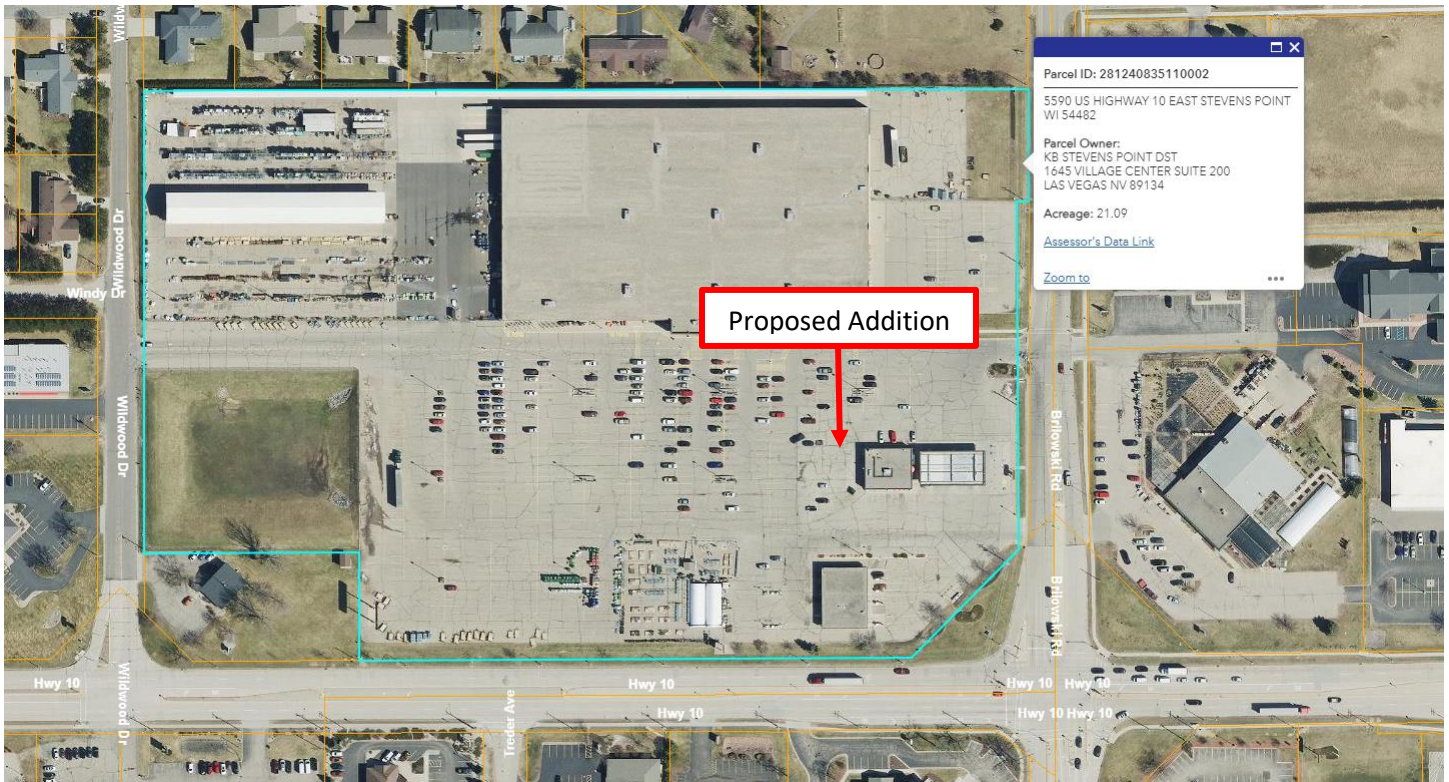
Site Plan Review - Dunkin 5590 U.S. Highway 10 East June 3, 2024



Department of Community Development

Applicant(s): - Mario Valentini, representing KB Stevens Point DST Staff: - Adam Kuhn, Associate Planner akuhn@stevenspoint.com Parcel Number(s): 281240835110002 Zone(s): "B-5" Highway Commercial Master Plan: - Commercial/Office/Multi-Family Council District: - District 7 Ald. Kneebone Current Use: - Big-box store & gas station	Request - A request from Mario Valentini, representing KB Stevens Point DST, for a site plan review to construct a building addition on the property located at 5590 United States Highway 10 East (Parcel ID 281240835110002), consistent with Ch. 23.02(2)(e)(5). Attachment(s) - Application - Plans Findings of Fact - The applicant is requesting to construct a 1,200 square foot addition onto Fleet Farm's gas station convenience store. - The proposed addition would house Dunkin and be used as a drive-thru coffee establishment. This coffee shop will sell only beverages and pre-cooked food. - Drive-thru coffee establishments are a permitted use within the "B-5" Highway Commercial District, the zoning designation of the subject parcel. - For lots zoned "B-5" Highway Commercial District, a Site Plan Review is required for the construction of new buildings and for building additions. - The Plan Commission and Common Council may attach additional conditions onto this request as necessary. Staff Recommendation Approve the request for a site plan review to construct a building addition on the property located at 5590 United States Highway 10 East (Parcel ID 281240835110002), subject to the following conditions: - A building permit shall be obtained prior to the start of construction. - Staff shall have the ability to approve minor amendments to the approved plan.
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Vicinity Map



Background

Overview: The applicant is requesting to construct a 1,200 square foot addition onto Fleet Farm’s gas station convenience store to house Dunkin, a drive-thru coffee establishment. Unlike the Dunkin store off of Division Street, this establishment will sell only beverages and pre-cooked food. Situated to the west of the gas station convenience store, this coffee shop will be serviced by a drive-thru line running to the north and west of the proposed addition. Besides the addition, other site improvements include the creation of a trash enclosure, installing a metal guard rail to separate the adjacent parking row from the drive-thru lane, and two parking spaces.

The subject property is zoned “B-5” Highway Commercial, and drive-thru coffee establishments are a permitted use within the “B-5” District. However, the City’s Zoning Code requires a site plan review for building additions on a site zoned “B-5” Highway Commercial. The purpose of this Site Plan Review weighs heavily towards access to the site, internal traffic flow and parking lot improvements. Said requirement is outlined below in its entirety.

Ch. 23.02(2)(e) “B-5” Highway Commercial District

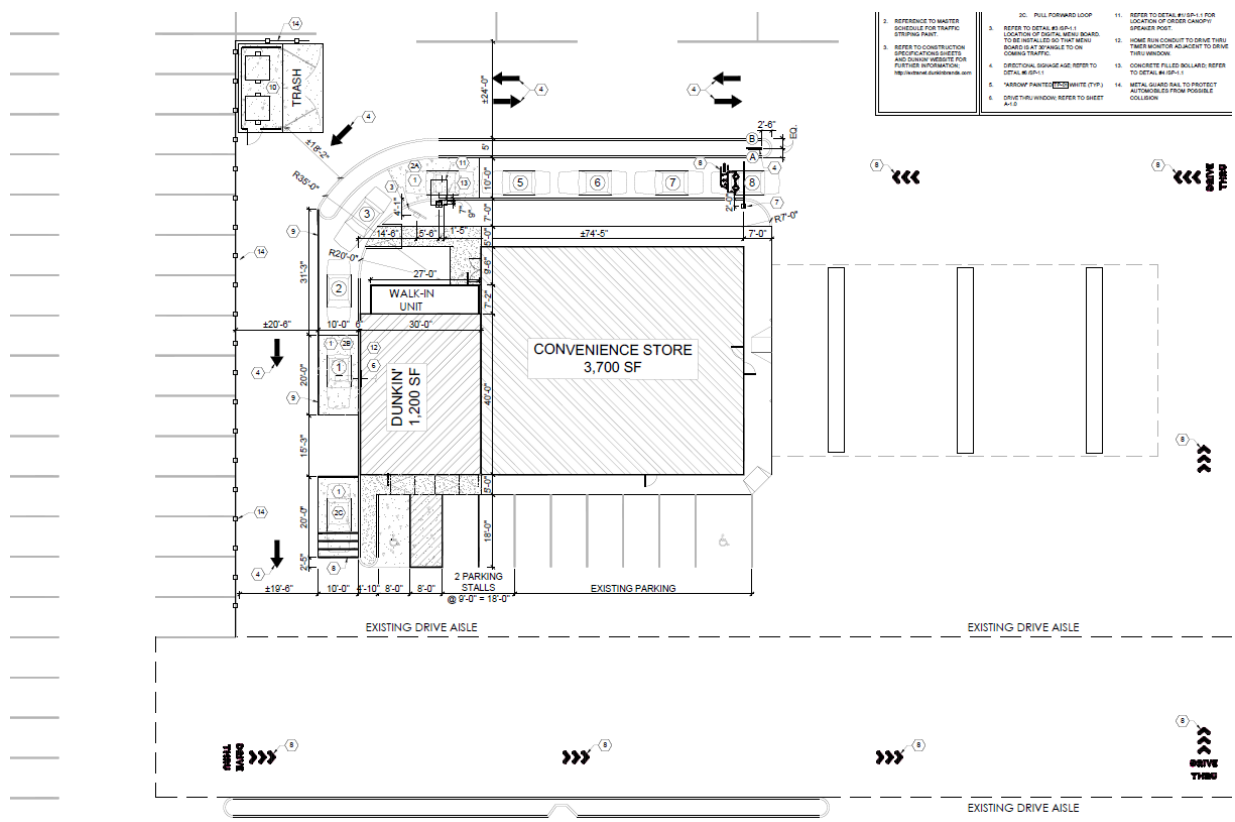
5) Site Plan Review

In addition to the standards contained in this and other City ordinances, no building or zoning permit shall be issued for a new use or renovation of any part of an existing use in this Highway Commercial District until the Common Council has approved the site plan for the proposed use. This requirement is adopted to protect the health, safety, and welfare of the citizens of the City and the property owners, to protect the safety of the users of the adjacent highway and the users of the commercial sites of this district, to protect pedestrians, and to protect property values. Site plan review shall include but not

be limited to review of compliance with highway access safety considerations, reduction of access points along the highway, alignment of access points directly or almost directly across from each other consistent with the adopted Highway Access Plan, the sharing of drive access points between adjacent properties, provisions for access easements necessary to implement the access plan, parking lot layout, joint parking provisions, building setback and entrance/service drive positioning, internal traffic circulation, and compliance with all standards contained in City ordinances.

The site plan shall first be reviewed by the Plan Commission. The Common Council may affirm, affirm with modification, or reject the recommendation of the Plan Commission. If the Plan Commission fails to act upon the request of any applicant within 45 days of the submission of the application, the request may be taken directly to the Common Council without benefit of recommendation by the Plan Commission. The Plan Commission may modify the provision contained in this ordinance if, in their opinion, the policies contained in this ordinance are met.

A review of important site characteristics is identified below.



Proposed Site Plan

Standards of Review – Site Plan Review

1. Setbacks.

Analysis: The following are the building setback requirements of the “B-5” Highway Commercial District – 25’ street setback, 10’ side yard setback and a 20’ rear yard setback. Note that more stringent street setbacks exist for properties abutting Highway 10 East in accordance with Wisconsin Department of Transportation requirements.

Findings: The setbacks that are provided significantly exceed minimum requirements for the “B-5” District.

<i>Lot Line</i>	B-5 Setback Requirements	Proposed Setbacks
<i>Street</i>	40 feet – U.S. Highway 10 East 25 feet – Brilowski Road	211 feet off of U.S. Highway 10 East 213 feet off of Brilowski Road
<i>Side</i>	10 feet	213 feet (corner side yard)
<i>Rear</i>	20 feet	688 feet

2. Density.

Analysis: Within the “B-5” District, all allowed uses are required to have a minimum lot size of 35,000 sq ft. Please note that unlike other commercial zoning districts, the “B-5” District does not differentiate in lot size requirements for residential and non-residential developments.

Findings: The subject property is over 35,000 square feet in size and meets density requirements.

3. Building Height.

Analysis: The maximum height of the proposed building will be 21’ 10”.

Findings: Buildings within the “B-5” District are restricted to a max height of 35 feet. Structures may surpass 35 feet in height, at a height not to exceed 125 feet, if a fire prevention system exists that is approved by the Fire Department.

4. Access and Internal Traffic Flow.

Analysis: Primary means of access to the proposed use will be off of two access points along Brilowski Road. While this area of the subject property receives a fair amount of internal traffic for users frequenting Fleet Farm, the gas station and the adjacent car wash, it is important to note how much building setback is provided from the Brilowski Road access points. With roughly 200 feet separating the northern Brilowski Road access point to the start of the drive-thru lane, staff believes that there is not a likelihood of traffic spilling onto public streets. As will be discussed later in this report, extensive considerations took place as to the queuing of vehicles waiting in the drive-thru lane.

Findings: Staff believes that right-of-way infrastructure along Brilowski Road and U.S. Highway 10 East will provide appropriate access into the site. Given the significant separation that exists between the building addition and Brilowski Road, staff believes that the flow of traffic within the property is sufficient.

5. Stacking.

Analysis: The applicant is proposing five stacking spaces between the entrance to the drive-thru lane and the menu board, while an additional three stacking spaces are proposed between the menu board and pick-up window. One additional stacking space is provided beyond the pick-up window during peak times (typical for most drive-thru establishments).

Findings: The City's Zoning Code provides minimum stacking requirements for various land uses. Stacking requirements for drive-thru coffee shops are not explicitly listed within the Zoning Code, meaning that it is up to the Plan Commission and Common Council to determine the minimum number that is appropriate for non-listed land uses.

As shown on the site plan, drive-thru pavement markings are planned to completely encapsulate the building and gas station canopy structure. While it is very unlikely that the queuing line will extend that far, staff purposely required greater distance between the designated drive-thru lane and the gas station canopy to provide sufficient traffic movement for gas station users should the line of vehicles extend beyond the curbed area.

6. Utilities.

Analysis: Utilities exist within the Highway 10 East and Brilowski Road Right-of-Ways that can service the proposal development.

Findings: The Public Utilities Department has expressed support for existing utility infrastructure complementing the proposed development.



APPLICATION FOR A SITE PLAN REVIEW

(Pre-Application Conference is Required for Major and Minor Site Plan Reviews)

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted		Fee Required		Fee Paid	
Associated Applications (if any)				Assigned Case Manager			
Pre-Application Conference Date				Minor Site Plan	☐	Major Site Plan	☐

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? ☒)	
Applicant Name	Mario Valentini - MRV Architects, Inc.	Contact Name	
Address	5105 Tollview Dr, Suite 201	Address	
City, State, Zip	Rolling Meadow	City, State, Zip	
Telephone	224.318.2140	Telephone	
Fax		Fax	
Email	erikv@mrvarch.com	Email	

OWNERSHIP INFORMATION

TENANT

LANDLORD

PROPERTY OWNER OF RECORD 1 INFORMATION (Same as Applicant? ☐)		PROPERTY OWNER OF RECORD 2 INFORMATION (If Needed)	
Owner's Name	TMart Operations I, LLC. - Jeremy Alsaker	Owner's Name	KB Stevens Point DST -- Fleet Farm property
Address	P.O. Box 120	Address	1645 Village Center #200
City, State, Zip	Wisconsin Dells, WI 53965	City, State, Zip	Las Vegas NV 89134
Telephone	608.698.6165	Telephone	
Fax		Fax	
Email	ekettinger.dunkin@gmail.com	Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
281240835110002		
Legal Description of Subject Property		
Area of Subject Property (Acres/Sq Ft)		
1,200 SF		
Current Zoning District(s)		
B5		

Designated Future Land Use Category	Current Use of Property	Proposed Use of Property
B5	Parking Lot	Quick service restaurant with a drive-thru
Describe land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)		
Retail sales of pre-cooked food and beverages in house or thru-drive window. This will be a new building addition to the existing structure on site. Site improvements will include a new trash enclosure, landscaping, new parking, and adjustment to the storm water piping as required.		
Current Zoning Surrounding Subject Property		
North:	B5	South: B5
East:	B5	West: B5
Current Land Use Surrounding Subject Property		
North:	Parking Lot	South: Car Wash
East:	Convenience store with gas station	West: Parking Lot

EXHIBITS

Owner Information Sheet	☒	Additional Exhibits If Any (List): Project Narrative (Included stormwater and photometrics information)
Letter to District Alderperson	☐	
Maps (vicinity, zoning, floodplains, wetlands others as requested by staff)	☒	
Site Plan (designating primary, side, and service street frontages)	☒	
Building Elevations	☒	
Parking Plan (Location, number of spaces, reductions, and design and landscaping)	☒	
Street Plan with Cross-sections	☐	
Utility Plan	☒	
Landscape Plan (including any equivalent alternative landscaping requests)	☒	
Stormwater Plan	☐	
Outdoor Lighting Plan (location of fixtures, illumination levels)	☐	

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner(s)	Date
<i>Mario Valentini</i>	05/17/24	<i>Emily Kettinger</i> , Real Estate Development Manager	05/17/24

MRV ARCHITECTS, INC.

5105 Tollview Dr., Suite 201, Rolling Meadows, IL 60008

Ph. (224) 318-2140 Email: ErikV@mrvarch.com

May 17, 2022

Adam Kuhn, AICP- Associate Planner/Zoning Administrator
City of Stevens Point - City Hall
1515 Strongs Ave
Stevens Point, WI 54481

Project Address: 5590A US-10, Stevens Point, WI 54482

Dear Adam Kuhn,

On behalf of our client, TMart Operations I, LLC, we are pleased to present their new proposed project. The project consists of a new building addition to the existing convenience store located at 5590A US-10, Stevens Point. This addition will be used for a new Dunkin' quick service restaurant with a drive-thru.

This will be a 1,200 SF addition to the existing 3,700 SF convenience store. The drive-thru lane will be located north of the building and wrap around the west side of the new addition to the new drive-thru window. There should be no concern about the drive-thru stack ever extending to Billowski Rd. The layout has been designed to minimize potential issues with circulation in the parking lot and at the existing gas pumps. To protect circulation around the building, a new metal guard rail will be constructed along the west parking aisle. For those with longer wait time orders, a pull-forward waiting space will be provided for quick delivery service to all customers. For those who would like to dine in, 2 additional parking spaces will be added to the existing 6 parking spaces. Additional site improvement will include trash enclosure, directional signage, and drive-thru equipment. The client is currently discussing with the landlord to install new signage at the existing pylon signs at the Fleet Farm site.

The addition of some landscape areas will help decrease the impervious surfaces. An adjustment we will make to the existing stormwater system is to modify the line that currently runs below the proposed addition location. The vegetation in the new green space has been selected to ensure it can survive within the climate zone and to beautify the site further.

Since the site is already illuminated to meet the necessary requirements, this project will not include new site lighting. The only new exterior light fixtures will include new building lighting for non-illuminating signage, recessed lighting under canopies, and LED strips along building banding elements.

Since the proposed building will be located on top of the existing water line, the owner will work with the Landlord to adjust this so it can serve both spaces. Each space will be metered separately. The new addition will also connect to the existing sanitary line to the south of the building. A new exterior grease trap will be located in the green space north of the building. New electric and gas meters will be installed on the north face of the building.

We appreciate the opportunity to bring this project to your attention and look forward to following the approval procedures. Please feel free to call or reply with any questions or comments.

Sincerely,

Erik Valiulis
LEED Green Associate
MRV Architects, Inc.

Adam Kuhn

From: Erik Valiulis <erikv@mrvarch.com>
Sent: Monday, May 20, 2024 9:09 AM
To: District 7
Cc: Adam Kuhn
Subject: RE: Online Form Submittal: Contact Alderperson - District 7
Attachments: 05-17-24_Planning Commssion Submission.pdf; ALTA Survey.pdf; Dunkin - Stevens Point, WI_Project Narrative.pdf; Site Review Application (Signed).pdf

Mary,

Understood. Please see the attached package we have submitted to the City. Hopefully, your neighborhood will get their daily Vitamin Dunkin soon.

Erik Valiulis, LEED Green Associate
MRV Architects, Inc.

5105 Tollview Dr., Suite 201
Rolling Meadows, IL 60008
Ph: 224-318-2140
www.mrvarch.com

From: District 7 <district7@stevenspoint.com>
Sent: Monday, May 20, 2024 9:04 AM
To: Erik Valiulis <erikv@mrvarch.com>
Subject: Re: Online Form Submittal: Contact Alderperson - District 7

Erik,

I believe just by reaching out you have fulfilled the requirement to notify the Alder. I would like to see a preliminary site plan of the proposed project, particularly where it will be situated on the property. I do also serve on the Plan Commission but will not be able to attend the June meeting. A preview of the project will allow me to register any concerns or get questions answered. It sounds like a nice addition to my District and to my immediate neighborhood.

Sincerely,

Mary

Get [Outlook for iOS](#)

From: noreply@civicplus.com <noreply@civicplus.com>
Sent: Monday, May 20, 2024 8:45:24 AM
To: District 7 <district7@stevenspoint.com>
Subject: Online Form Submittal: Contact Alderperson - District 7

Contact Alderperson - District 7

First and Last Name:	Erik Valentini
Street Address:	5105 Tollview Drive, Suite 201
City	Rolling Meadows
State:	ILLINOIS
Zip:	60008
Phone Number:	2243182140
Email Address:	erikv@mrvarch.com
Please enter your questions or comments below:	Mary, We are assisting our client with their proposed project at 5590A Us-10, Stevens Point, WI. This is for a new building addition at an existing convenience store at the Fleet Farm parking lot. This would be a new Dunkin' with a drive-thru. We have been told we will need a letter from the local alderperson in order to finalize our planning commission submittal. We are hoping to get on the next available agenda so we can push to get this project constructed this year. Please let us know what information you may need to order to obtain this letter. Thank you.

Email not displaying correctly? [View it in your browser.](#)

GENERAL NOTES

- 1) ALL WORK TO COMPLY TO THE WISCONSIN / FEDERAL ACCESSIBILITY CODE AS ESTABLISHED BY THE STATE OF WISCONSIN AND THE CITY OF STEVENS POINT.
- 2) ALL CONTRACTORS AND SUBCONTRACTORS WILL THOROUGHLY FAMILIARIZE THEMSELVES WITH THESE CONSTRUCTION DOCUMENTS AND WILL VERIFY EXISTING SITE AND BUILDING CONDITIONS PRIOR TO SUBMITTING A BID. ALL SUBCONTRACTORS WILL PROVIDE ALL LABOR, SUPERVISION, AND MATERIALS AND EVERYTHING OF EVERY SORT WHICH MAY BE NECESSARY FOR A SUCCESSFUL COMPLETION OF THIS PROJECT TO OBTAIN A FINAL OCCUPANCY PERMIT. ALL WORK TO BE PERFORMED IN A GOOD AND WORKMANLIKE MANNER AS DESCRIBED HEREIN BY THESE CONSTRUCTION DOCUMENTS ACCORDING TO THE TRUE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS. WHETHER THE SAME MAY OR MAY NOT BE PARTICULARLY INFERRED THEREFROM ALL WORK INDICATED OR DESCRIBED IN THE DRAWINGS OR SPECIFICATIONS WILL BE CONFERRED BY THE CONTRACT TO THE EXTENT AS IF DESCRIBED IN BOTH.
- 3) SUBCONTRACTORS, BEFORE STARTING THEIR WORK, WILL CHECK AND VERIFY THEIR PARTICULAR CODE RELATED REQUIREMENTS FOR COMPLIANCE ALONG WITH MEASUREMENTS, SURFACE LEVELS, SURFACE CONDITIONS AND RELATED PRODUCT, INSTALLATIONS NEAR AND ABOUT THEIR WORK. EACH TRADE WILL VERIFY IF CONTRACT CONDITIONS WITH THE OWNER OR THE ON-SITE CONSTRUCTION MANAGER AS IF THEY ARE OR NOT OF THE SAME. AS PER THESE CONSTRUCTION DOCUMENTS, IT WILL BE UNDERSTOOD THAT EACH BIDDER UNDERSTANDS AND KNOWS EXACTLY WHAT WILL BE REQUIRED OF HIM AND WILL PERFORM THESE REQUIREMENTS WITHOUT RECOURSE TO THE FULL AND UNCONDITIONAL SATISFACTION OF THE OWNER. THERE ARE NO ALTERNATE BIDS ON THIS PROJECT. NO ADDITIONAL COMPENSATION WILL BE CONSIDERED AFTER LETTING OF THIS BID UNLESS CHANGES ARE DIRECTED BY THE OWNER IN WRITING WITH COST ALREADY NEGOTIATED FOR THAT ADDED WORK AFTER THE LETTING OF THE BID.
- 4) THIS ARCHITECT AND HIS PROFESSIONAL CONSULTANTS WILL NOT HAVE CONTROL OR CHANGE OF AND WILL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK ON THIS PROJECT OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK ON THIS SITE. NOR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE CONTRACT AND OR CONSTRUCTION DOCUMENTS.
- 5) ALL CONTRACTORS WILL PROVIDE ADEQUATE BRACING AND/OR SHORING TO INSURE STRUCTURAL STABILITY OF THE BUILDING AND ALL RELATED BUILDING COMPONENTS IE: STRUCTURAL WALLS, INTERIOR WALL ASSEMBLIES, ETC. DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
- 6) ALL WORK WILL BE COORDINATED WITH OTHER TRADES IN ORDER TO AVOID INTERFERENCE AND PRESERVE MAXIMUM HEADROOM AND AVOID OMISSIONS. EACH CONTRACTOR WILL INCLUDE ALL MISCELLANEOUS ITEMS REQUIRED BY CODE AND NEEDED TO COMPLETE THE WORK INCLUDING MOVING AND RIGGING OF MATERIALS AND EQUIPMENT, ALL THE HANGERS, SUPPORTS, ANCHORS, SUSPENSION MEANS, CONDUIIT, WIRE, FITTINGS, SLEEVES, ETC.
- 7) ALL MATERIALS USED WILL BE NEW AND BEAR U.L. LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A. STANDARDS. U.L. LABELS TO BE VISIBLE WHEN EQUIPMENT IS IN FINAL POSITION.
- 8) LAYOUT ALL PARTITIONS BEFORE BEGINNING CONSTRUCTION TO PREVENT ERRORS BY DISCREPANCY. ALL DRYWALL PARTITIONS WILL BE INSTALLED AS NOTED ON THE DRAWINGS.
- 9) ALL CONTRACTORS WILL GUARANTEE ALL LABOR AND MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ISSUE OF FINAL OCCUPANCY PERMIT AND/OR AT THE FINAL PAYOUT FROM OWNER.
- 10) VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING, CUTTING AND/OR INSTALLING MATERIAL, PRODUCT OR EQUIPMENT. IN THE EVENT OF ANY DISCREPANCIES, CONTACT THE ARCHITECT BEFORE PROCEEDING WITH THAT WORK.
- 11) ALL SUBCONTRACTORS WILL PROVIDE A CERTIFICATE OF INSURANCE TO THE OWNER PRIOR TO STARTING ANY WORK ON THIS PROJECT. NOTE: CERTIFICATE OF INSURANCE CANNOT BE TERMINATED OR CANCELED WITHOUT 10 DAYS PRIOR WRITTEN NOTICE TO THE OWNER.
- 12) NO SUBSTITUTIONS OF ANY KIND FOR MATERIALS SPECIFIED ON THESE CONSTRUCTION DOCUMENTS IS ALLOWED. NO "EQUIVALENT" SUBSTITUTIONS WILL BE MADE, UNLESS APPROVED IN WRITING BY THE ARCHITECT. AND APPROVED BY THE OWNER, DUE TO THE LACK OF AVAILABILITY OF ORIGINAL.
- 13) RESPONSIBILITY OF CONTRACTOR: EACH CONTRACTOR IS RESPONSIBLE FOR AND MUST GUARANTEE IN WRITING FIRST CLASS WORKMANSHIP AND MATERIALS. EACH CONTRACTOR WILL ASSUME ALL RESPONSIBILITY FOR THE CARE AND PROTECTION OF HIS OWN WORK AND MATERIALS FROM DAMAGE AND WILL PROTECT THIS SAME PROPERTY. HE WILL MAKE GOOD ANY DAMAGE TO HIS OWN OR OTHER WORK CAUSED BY HIMSELF OR WORKMEN EMPLOYED BY HIM.
- 14) SITE SAFETY: EACH CONTRACTOR WILL ABIDE BY LOCAL AREA STANDARDS AND ALL CITY ORDINANCES FOR THE PROTECTION AND SAFETY FOR THEIR EMPLOYEES ON SITE. THIS ARCHITECT AND HIS PROFESSIONAL CONSULTANTS WILL BE HELD HARMLESS BY THE OWNER, GENERAL CONTRACTOR AND RELATED AWARDED TRADES, ON THIS PROJECT FOR ACCIDENTS OR INJURIES CAUSED OR ACCRUED ON THIS PROPERTY DURING THE PRELIMINAL/POSTAL CONSTRUCTION PHASES OF THIS PROJECT.
- 15) LIENS: ALL SUBCONTRACTORS AND THE GENERAL CONTRACTOR WILL DELIVER TO THE OWNER A COMPLETE RELEASE OF ALL ITEMS ARISING OUT OF THIS CONTRACT AND/OR RECEIPTS IN FULL IN LIEU THERE OF TOWARDS THEIR PARTIAL OR FINAL PAYMENT FOR WORK IN PLACE FOR THE OWNER.
- 16) GENERAL CONTRACTOR TO PAY FOR ALL SCAVENGER SERVICES, AND WILL BE RESPONSIBLE FOR REMOVAL OF DEBRIS ACCUMULATED BY EACH TRADE. HOWEVER, EACH TRADE WILL KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES, ALONG WITH A BROOM FINISH AT THE END OF EACH WORKING DAY.
- 17) IF CHANGES ARE MADE IN THE FIELD ON THIS PROJECT VIA DIMENSIONS, MATERIAL, INSTALLATION DIFFERING THAN INDUSTRY TECHNIQUE AND STANDARDS, ETC., "CONSTRUCTION MANAGER" IS TO BE NOTIFIED 48 HOURS IN ADVANCE TO THESE CHANGES TO BE MADE BY SAID TRADE. IF NOTICE IS NOT GIVEN TO THE C.M., THEN THAT SUBCONTRACTOR IS TOTALLY RESPONSIBLE FOR THE CONSEQUENCES AND EFFECTS EVOLVED FROM THESE CHANGES.
- 18) CONSTRUCTION CLEANUP: AFTER ALL OTHER WORK IS COMPLETED AND JUST PRIOR TO TURNING THE SPACE OVER TO THE OWNER, THE CONSTRUCTION MANAGER WILL EMPLOY THE SERVICES OF A PROFESSIONAL CLEANING SERVICES TO CLEAN AND WASH DOWN ALL INSTALLED EQUIPMENT, SERVICE AREAS, ALONG WITH THE CLEANING OF ALL GLASS WINDOW/DOR SURFACES PRIOR TO OCCUPANCY. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES FOR THIS MUNICIPALITY. SEE "CODE REVIEW" ON THIS SHEET.
- 19) DO NOT SCALE DRAWINGS.
- 20) CONTRACTOR WILL APPOINT ONE SPECIFIC INDIVIDUAL FOR LIAISON WITH THE OWNER REPRESENTATIVE AND ARCHITECT.
- 21) CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK AT ANY TIME WITHOUT APPROVED CONTRACT DOCUMENTS.
- 22) CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ARCHITECTURAL, MECHANICAL, TELEPHONE, ETC., INCLUDING LIGHTING, AND PLUMBING SO TO ENSURE THAT REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ALL EQUIPMENT ARE PROVIDED.
- 23) DIMENSIONS SHALL NOT BE CHANGED WITHOUT THE ARCHITECTS WRITTEN APPROVAL.
- 24) CONTRACTOR TO PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED.
- 25) CONTRACTOR TO PROVIDE A COPY OF THE APPROVED CONSTRUCTION DOCUMENTS ON SITE AT ALL TIMES.

GENERAL NOTES CONTINUED

- 26) AS PART OF THE DESIGN AND CONSTRUCTION OF THE BUILD-OUT, ALL EXISTING BUILDING FINISHES IN SPACES OWNED BY CDA OR LEASED TO AIRLINES / VENDORS AND OTHER TENANTS, SHALL BE MAINTAINED, OR IF AFFECTED BY THE BUILD-OUT, REPAIRED / REPLACED IN-KIND TO MATCH EXISTING FINISHES OR IMPROVED IN SUCH A MANNER AS ACCEPTABLE TO THE COMMISSIONER AND / OR AFFECTED AIRLINE / VENDOR / TENANT.
- 27) ALL PENETRATIONS THROUGH FLOORS, WALLS, CEILINGS AND PARTITIONS OF ANY TYPE MUST BE TIGHTLY SEALED. PENETRATION THROUGH FIRE RATED FLOORS, WALLS PARTITIONS OR CEILINGS MUST BE SEALED TO MAINTAIN THE SAME FIRE RATING AS THE FLOORS, WALLS PARTITIONS OR CEILINGS BEING PENETRATED.
- 28) CONTRACTOR TO PROVIDE NON-DESTRUCTIVE ULTRASOUND TESTING AT CORE PENETRATIONS THRU THE FLOOR STRUCTURE.
- 29) ANY NEW OPENINGS THROUGH FLOOR FOR THE INSTALLATION OF RISER PIPES OR CONDUITS MUST BE PROVIDED WITH: A) A GALVANIZED METAL PIPE SLEEVE SECURED AND SEALED TO THE FLOOR WITH THE TOP AT 1" MINIMUM ABOVE TOP OF SLAB TO GUARD AGAINST WATER SPILL/LEAK TO LEVEL BELOW (ACT AS A DAM). B) ANNUAL RING/GAP FOR PIPES PASSING THROUGH THE SLEEVE MUST BE SEALED WITH A UL LISTED FIRE RATED ASSEMBLY MATCHING THE FLOOR FIRE RATING. FOR MECHANICAL DUCTWORK OR PIPES OF SIZE MAKING SLEEVE IMPRACTICAL, PROVIDE A CONCRETE OR STEEL CURB ABOVE THE SLAB TO ACT AS A DAM AND SEAL ANNUAL RING/GAP WITH A UL LISTED FIRE RATED ASSEMBLY MATCHING THE FLOOR FIRE RATING.

DUNKIN' PROJECT CONTRACTOR NOTES AND REQUIREMENTS

1. ATTEND PRE-CONSTRUCTION MEETING WITH FRANCHISEE
2. OBTAIN COPIES OF PLAN REVIEW LETTERS ISSUED FOR PERMIT APPROVAL PROCESS.
3. SUBMIT PROJECT SCHEDULE, SUB-CONTRACTOR LIST, AND SCHEDULE OF VALUES TO CM.
4. COORDINATE ARCHITECT'S JOB SITE INSPECTIONS FOR THE FOLLOWING:
 - ROUGH CARPENTRY
 - UTILITY ROUGH-IN
 - PROJECT COMPLETION
5. FOR REMODELS, GC CONFIRM WITH FRANCHISEE EQUIPMENT TO REMAIN, EQUIPMENT TO BE REMOVED, STORED AND REINSTALLED, AND EQUIPMENT TO BE THROWN AWAY. STORAGE AND DELIVERY OF EQUIPMENT TO BE AT FRANCHISEE'S COST.
6. PROVIDE FIELD MEASUREMENTS TO FRANCHISEE'S EQUIPMENT SUPPLIER
7. APPROVE EQUIPMENT SUPPLIER'S SHOP DRAWING FOR ACCURACY WITH CONTRACT DOCUMENTS AND FIELD DIMENSIONS.
8. COMMIT TO EQUIPMENT INSTALLATION 5 WEEKS MINIMUM BEFORE SCHEDULED DATE.
9. GC SHALL PHOTOGRAPH SITE DAY OF EQUIPMENT INSTALL.
10. PROVIDE TRASH DUMPSTER FOR EQUIPMENT SUPPLIER'S CRATE MATERIAL.
11. PROVIDE SUPERINTENDENT ON SITE FOR DURATION EQUIPMENT INSTALL.
12. SUB TRADES SHOULD NOT BE SCHEDULED DURING TIME OF INSTALL.
13. BEFORE EQUIPMENT INSTALLATION DATE, GC SHALL HAVE THE FOLLOWING CONSTRUCTION COMPLETED:
 - A. ELECTRICAL SERVICE TO BE IN PLACE, EITHER TEMPORARY TEMPORARY SERVICE SETUP OR PERMANENT SERVICE INSTALLED.
 - D. ALL FLOOR TILE SET AND GROUTED. ALL WALL BASE TILE SET AND GROUTED.
 - E. CEILING GRID INSTALLED. DUCTWORK COMPLETED AND DIFFUSERS IN PLACE.
 - F. SOFFITS COMPLETED AND FINISHED.
 - G. ALL WALL FINISHES COMPLETED.
 - H. ALL AREAS IN THE STORE TO BE CLEANED AND FREE OF CONSTRUCTION MATERIALS.
 - L. ELECTRICAL CIRCUITS PULLED AND WATER STUBS COMPLETED WITH SHUT OFF VALVES.
 - M. HOT WATER HEATER INSTALLED AND OPERATING.
14. MAKE FINAL ALL EQUIPMENT CONNECTIONS
15. WATER SUPPLY PIPING TO COFFEE BREWER TO BE BLOWN OUT PRIOR TO CONNECTION.
22. COORDINATE FRANCHISEE'S PHONE SERVICE.
25. COORDINATE FRANCHISEE'S AWNING FABRICATOR
26. COORDINATE FRANCHISEE'S LOCAL SIGN INSTALLER.
27. PROVIDE CIRCUITING & FINAL CONNECTION FOR ALL ILLUMINATED SIGNAGE.
29. PROVIDE FINAL CLEANING SERVICE FOR TURN OVER TO FRANCHISEE.
30. SECURE ALL FINAL INSPECTIONS AND CERTIFICATE OF OCCUPANCY.
31. PROVIDE DUNKIN' BRANDS WARRANTY INFO & COMPLETED PAPERWORK.
32. G.C. WILL BE RESPONSIBLE TO INSTALL ALL INTERIOR GRAPHIC ELEMENTS SUPPLIED BY THE MILLWORK SUPPLIER.

DUNKIN' PROJECT CONTRACTOR NOTES AND REQUIREMENTS

SHEET INDEX		☉ . ADDED SHEET			
1	CS-1.0	COVER SHEET			
2	GN-2.0	MASTER FINISH SCHEDULE			
3	SP-1.0	SITE PLAN & NOTES			
4	SP-1.1	SITE DETAILS & NOTES			
5	SP-1.2	SITE DETAILS			
6	SP-2.0	UTILITY SITE PLAN			
7	LP-1.0	LANDSCAPE PLAN, DETAILS, & NOTES			
8	A-5.0	EXTERIOR ELEVATIONS & NOTES			
9	A-6.0	BUILDING SIGNAGE DETAILS			
10	K-1.0	FLOOR PLAN			
NOTE: SEE BOOKFORM SPECIFICATIONS THAT ARE PART OF THESE CONTRACT DOCUMENTS					

CODE REVIEW

AUTHORITY:	CITY OF STEVENS POINT COMMUNITY DEVELOPMENT 1515 STRONG AVE. STEVENS POINT, WISCONSIN 54481		
CODE:	<u>BUILDING CODE:</u>	2015 IBCB	
	<u>ACCESSIBILITY CODE:</u>	ICC A117.1-2009	
	<u>FIRE CODE:</u>	2015 IFB	
	<u>MECHANICAL CODE:</u>	2015 IMC	
	<u>PLUMBING CODE:</u>	WISCONSIN UNIFORM PLUMBING CODE	
	<u>ELECTRICAL CODE:</u>	2017 NEC	
	<u>FUEL GAS CODE:</u>	2015 IFGC	
	<u>ENERGY CODE:</u>	2015 IECC	
	<u>ZONING:</u>	CH 23. ZONING CODE	
CONST. TYPE:	TYPE V-8		
USE:	BUSINESS - GROUP B		
AREA:	1,200 GROSS SQ. FT.		
HEIGHT:	21'-0"		
EXITS:	2 REQUIRED/3 PROVIDED; BUILDING NOT SPRINKLED FARTHEST TRAVEL DISTANCE TO EXIT = 45'-6"		
SANITARY FACILITIES:	1 MEN/1 WOMEN'S (EXISTING, SHARED WITH LANDLORD)		
OCCUPANCY:			

PROJECT DIRECTORY			
OWNER:	TMART OPERATIONS I, LLC. JEREMY ALSAKER P.O. BOX 120 WISCONSIN DELLS, WI 53965 PHONE: 608.698.6165	STRUCTURAL ENGINEER:	TBD
ARCHITECTS:	MRV ARCHITECTS, INC. 5105 TOLLVIEW DRIVE, SUITE 201 ROLLING MEADOWS, IL 60008 PHONE: 224.318.2140	MEP:	TBD
NOTE: REFER TO DUNKIN' SPECIFICATIONS, IF ANY CONFLICTS BETWEEN THESE DRAWINGS AND DUNKIN'S SPECIFICATIONS ARISE. NOTIFY ARCHITECT IMMEDIATELY. CONTRACTOR MUST BE FAMILIAR WITH THE MOST RECENT EQUIPMENT SPECIFICATIONS OBTAINED FROM DUNKIN' BRANDS.			

SYMBOL NOTES

 INDICATES DETAIL NUMBER

 INDICATES SHEET
UPON WHICH
DETAIL APPEARS

SCALE: $3/16" = 1'-0"$

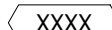
 OR 

DETAIL REFERENCE

 ELEVATION

 ROOM NUMBER

 DOOR NUMBER

 EQUIPMENT NUMBER

 COLUMN LINE
NUMBER

 ELEVATION
REFERENCE

 SECTION
REFERENCE

LOCATION PLAN

NO SCALE

An aerial photograph of a city block. A black rectangle highlights a building at the intersection of 10th Avenue and 1st Street. A line points from this rectangle to the word 'ADDITION' on the right. Other street names visible include 1st Street, 2nd Street, 3rd Street, 4th Street, 5th Street, 6th Street, 7th Street, 8th Street, 9th Street, 10th Avenue, and 11th Avenue. A north arrow is in the top right corner.

ADDITION

ARCHITECT'S SEAL

STATEMENTS OF COMPLIANCE

THESE DOCUMENTS WERE PREPARED BY "MVR ARCHITECTS, INC." ACCORDING TO THE TERMS OF THE CONTRACT BETWEEN THIS OFFICE AND THE OWNER, FOR THIS BUILDING PROJECT. THESE DOCUMENTS DO NOT EITHER IN WHOLE OR IN PART CONSTITUTE ANY DIRECTION OR INSTRUCTION TO THE AWARDED GENERAL CONTRACTOR OR AWARDED SUB-CONTRACTORS WITH REGARDS TO CONSTRUCTION MEANS, METHODS OR TECHNIQUES BY THESE DOCUMENTS. THUS, THIS ARCHITECT DOES NOT INTEND TO EXPRESS ANY OPINION, DIRECTION OR INSTRUCTION OF ANY KIND WHATSOEVER AS TO THE FINISHED MANNER IN WHICH THE CONSTRUCTION WORK IS TO BE COMPLETED AND/OR RELATED SITE SAFETY ISSUES.

STATEMENTS OF COMPLIANCE

I hereby certify that these drawings were prepared by me and to the best of my knowledge comply with the Applicable Building Codes.

Project will comply with ADA Title II (All programs, services, and activities to be made accessible to and usable by people with disabilities).

ARCHITECT
WISCONSIN REGISTRATION NO. 11698-S
EXPIRES: 07-31-24

[illegible]The Jinji logo, featuring the word "jinji" in a stylized, rounded, orange font. The letter "i" has a pink dot, and the letter "j" has a small orange circle above it.

MRV

ARCHITECTS, INC.

5105 TOLLVIEW DR., SUITE 201
ROLLING MEADOWS, IL 60008

ALL DRAWINGS, SPECIFICATIONS AND PLANS ARE
INSTRUMENTS OF SERVICE THEREFORE ARE
PROPERTY OF MRV ARCHITECTS, INC. THEY MAY NOT
BE REUSED, COPIED OR REPRODUCED WITHOUT
PERMISSION AND EXPRESS WRITTEN CONSENT OF
MRV ARCHITECTS

REVISION	DESCRIPTION	ISSUE DATES	DRAWN	E/V
-	-	-	-	-
-	-	-	CHECKED	M/V
-	-	-	-	-
-	-	-	DATE	05-17-24
-	-	-	-	-
-	-	-	PROJECT No	19043
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-

COVER SHEET	
DUNKIN" 5590A US-10 STEVENS POINT, WI 54482	
PC# 359536	

SHEET

CS-1.0

- GENERAL NOTES:
1. NEW & REMODEL STORES HAVE THE OPTION OF A COOL OR WARM PALETTE FOR INTERIOR FINISHES
 2. CODE SUFFIX (C) = COOL PALETTE FINISHES
 3. CODE SUFFIX (W) = WARM PALETTE OR REMODEL FINISHES WHEN KEEPING 2015 IMAGE FLOOR TILE
 4. CODE SUFFIX (E) = EXISTING
 5. FINISHES WITHOUT SUFFIX ARE UNIVERSAL TO THE COOL & WARM PALETTE
 6. REMODEL STORES KEEPING EXISTING 2015 IMAGE FLOOR TILE (TAN COLOR) SHALL ONLY USE THE WARM PALETTE

	TRAFFIC STRIPING PAINT					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION	VENDOR CONTACTS
TRAFFIC STRIPING PAINT	TP-01	PAINT	SHERWIN WILLIAMS	PRO PARK	"WHITE": B97WD2434	PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794
	TP-02	PAINT	SHERWIN WILLIAMS	PRO PARK	"BLUE": B97LD2022	
	TP-03	PAINT	SHERWIN WILLIAMS	PRO PARK	"YELLOW": B97YD2467	
	TP-04	PAINT	SHERWIN WILLIAMS	PRO PARK	"ORANGE": CUSTOM MIX B97YD2467 CCE* COLORANT OZ 32 64 128 W1-WHITE - 6 1 --- R4-NEW RED 4 53 1 --- Y3-DEEP GOLD - 06 - 1	HEATHER BOURGEOIS NATIONAL ACCOUNT EXECUTIVE O: 646-841-4412 EMAIL: HEATHER.R.BOURGEOIS@SHERWIN.COM
	TP-05	PAINT	SHERWIN WILLIAMS	PRO PARK	"PINK": CUSTOM MIX B97RD2012 CEE* COLORANT OZ 32 64 128 W1-WHITE 6 -- -- -- L1-BLUE -- 6 -- --	
	EXTERIOR WALL PAINT					
EXTERIOR PAINT	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
	PTE-02	PAINT	SHERWIN WILLIAMS	CHARCOAL FINISH	SW 7069 "IRON ORE"	PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794 HEATHER BOURGEOIS NATIONAL ACCOUNT EXECUTIVE O: 646-841-4412 EMAIL: HEATHER.R.BOURGEOIS@SHERWIN.COM
	EXTERIOR METAL PAINTED COATINGS					
EXTERIOR METAL PAINTED COATINGS	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
	PC-02	PAINTED COATING	MATTHEWS PAINT	CHARCOAL FINISH	COLOR: MP10269 DARK SLATE FINISH LVS SATIN V2.0	PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794 HEATHER BOURGEOIS NATIONAL ACCOUNT EXECUTIVE O: 646-841-4412 EMAIL: HEATHER.R.BOURGEOIS@SHERWIN.COM
		PAINTED COATING	SHERWIN WILLIAMS	CHARCOAL FINISH	SW 7069 "IRON ORE"	
		PAINTED COATING	POWDER COAT	CHARCOAL FINISH	SW 7069 "IRON ORE"	
	PC-04	PAINTED COATING	MATTHEWS PAINT	OFF WHITE FINISH	COLOR MATCH PMS COOL GREY 1C MAP ULTRA LOW V.O.C.	HEATHER BOURGEOIS NATIONAL ACCOUNT EXECUTIVE O: 646-841-4412 EMAIL: HEATHER.R.BOURGEOIS@SHERWIN.COM
		PAINTED COATING	SHERWIN WILLIAMS	OFF WHITE FINISH	SW 7063 "NEBULOUS WHITE"	
		PAINTED COATING	POWDER COAT	OFF WHITE FINISH	SW 7063 "NEBULOUS WHITE"	
	PC-12	PAINTED COATING	MATTHEWS PAINT	DD PINK FINISH	COLOR MATCH PMS 7635C COLOR: MP79206 R161426 FINISH: LVS SATIN V1.0 OVER MP55898 WHITE BASECOAT	
		PAINTED COATING	SHERWIN WILLIAMS	DD PINK FINISH	COLOR MATCH PMS 7635C	
		PAINTED COATING	POWDER COAT	DD PINK FINISH	COLOR MATCH PMS 7635C	
	PC-13	PAINTED COATING	MATTHEWS PAINT	DD ORANGE FINISH	COLOR MATCH PMS 3564C COLOR: MP79700 R161426 FINISH: LVS SATIN V1.0 OVER MP55898 WHITE BASECOAT	
		PAINTED COATING	SHERWIN WILLIAMS	DD ORANGE FINISH COLOR # 5059990	Blended At: Sherwin Williams Product Finishes, Lowell MA Product: LV3 - Genesis Low VOC Satin GT1039 Orange Toner 785.97g / .19gal GT1511 Low VOC Gloss Clear 529.21g / 12gal GT1043 Autumn Orange 194.04g / .05gal GT1011 Artic White 137.20g / .02gal GR1086 Reducer 442.38g / .13gal GT1510 Low VOC Flat Clear 2157.21g / 49gal	
PAINTED COATING	POWDER COAT	DD ORANGE FINISH	COLOR MATCH PMS 3564C			

EXTERIOR PAINT	<u>PTE-02</u>	PAINT	SHERWIN WILLIAMS	CHARCOAL FINISH	SW 7069 "IRON ORE"	PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794
						HEATHER BOURGEOIS NATIONAL ACCOUNT EXECUTIVE O: 646-841-4412 EMAIL: HEATHER.R.BOURGEOIS@SHERWIN.COM

	EXTERIOR METAL PAINTED COATINGS					
	CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	
EXTERIOR METAL PAINTED COATINGS	PC-02	PAINTED COATING	MATTHEWS PAINT	CHARCOAL FINISH	COLOR: MP10269 DARK SLATE FINISH LVS SATIN V2.0	PLACE ORDER WITH LOCAL SHERWIN WILLIAMS STORE FOR A STORE NEAR YOU CALL: 800-474-3794
		PAINTED COATING	SHERWIN WILLIAMS	CHARCOAL FINISH	SW 7069 "IRON ORE"	
		PAINTED COATING	POWDER COAT	CHARCOAL FINISH	SW 7069 "IRON ORE"	
	PC-04	PAINTED COATING	MATTHEWS PAINT	OFF WHITE FINISH	COLOR MATCH PMS COOL GREY 1C MAP ULTRA LOW V.O.C.	HEATHER BOURGEOIS NATIONAL ACCOUNT EXECUTIVE O: 646-941-4412 EMAIL: HEATHER.BOURGEOIS@SHERWIN.COM
		PAINTED COATING	SHERWIN WILLIAMS	OFF WHITE FINISH	SW 7063 "NEBULOUS WHITE"	
		PAINTED COATING	POWDER COAT	OFF WHITE FINISH	SW 7063 "NEBULOUS WHITE"	
	PC-12	PAINTED COATING	MATTHEWS PAINT	DD PINK FINISH	COLOR MATCH PMS 7635C COLOR: MP73206 R161426 FINISH: LVS SATIN V1.0 OVER MP55898 WHITE BASECOAT	
		PAINTED COATING	SHERWIN WILLIAMS	DD PINK FINISH	COLOR MATCH PMS 7635C	
		PAINTED COATING	POWDER COAT	DD PINK FINISH	COLOR MATCH PMS 7635C	
	PC-13	PAINTED COATING	MATTHEWS PAINT	DD ORANGE FINISH	COLOR MATCH PMS 3564C COLOR: MP797700 R161426 FINISH: LVS SATIN V1.0 OVER MP55898 WHITE BASECOAT	
		PAINTED COATING	SHERWIN WILLIAMS	DD ORANGE FINISH COLOR # 5059990	Blended At: Sherwin Williams Product Finishes, Lowell MA Product: LV3 - Genesis Low VOC Satin GT1039 Orange Toner 785.97g / .19gal GT1511 Low VOC Gloss Clear 529.21g / .12gal GT1043 Autumn Orange 194.04g / .05gal GT1011 Arctic White 137.20g / .02gal GR1088 Reducer 442.38g / .13gal GT1510 Low VOC Flat Clear 2157.21g / .49gal	
		PAINTED COATING	POWDER COAT	DD ORANGE FINISH	COLOR MATCH PMS 3564C	

EXTERIOR FIBER-CEMENT EXTERIOR SIDING AND PANELS					
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
<u>PS-01</u>	FIBER CEMENT SIDING	JAMES HARDIE	GRAY FINISH	COLOR "AGED PEWTER " SURFACE: HARDIE SIDING OR COLOR: "PRIMED FINISH" FIELD PAINT TO MATCH PTE-01 DIMENSION: 8 1/4" X 12" X 5/16" THK WITH 6" SIDING EXPOSURE	JEFF HARVEY 774-287-6278 JEFFERY.HARVEY@JAMESHARDIE.COM
<u>PS-01 LP</u>	FIBER CEMENT PANEL	JAMES HARDIE	GRAY FINISH	COLOR: "AGED PEWTER" SURFACE: PRE-FINISHED REVEAL PANEL DIMENSION: (5/16" x 48"X96") WITH COLOR MATCHED TRIMS AND COLOR MATCHED SCREWS OR COLOR: "PRIMED FINISH" FIELD PAINT TO MATCH PTE-01	
<u>PS-03</u>	FIBER CEMENT SIDING	WOODTONE	WOOD FINISH RUSTIC SERIES WOODTONE	COLOR: "HONEY GLAZE" WOOD PATTERN SURFACE: WOOD PATTERN PLANK DIMENSION: 8 1/4" X 12" X 5/16" THK WITH 6" SIDING EXPOSURE NOTE: NAILS TO MATCH WOOD FINISH	FOR WOODTONE PRODUCTS: LAURENCE TAYLOR, WOODTONE SALES REPRESENTATIVE PHONE: (604) 792-3680 CELL: (604) 798-2664 LAURENCE.T@WOODTONE.COM TIM FOLSTER WOODTONE MANAGER, STRATEGIC ACCOUNTS PHONE: (604) 792-3680 CELL: (604) 845-9663 TIMF@WOODTONE.COM
<u>PS-04 LP</u>	FIBER CEMENT PANEL	JAMES HARDIE	OFF WHITE FINISH LARGE FORMAT PANEL	COLOR "ARCTIC WHITE" SURFACE: PRE-FINISHED REVEAL PANEL DIMENSION: (5/16" x 48"X96") WITH COLOR MATCHED TRIMS AND COLOR MATCHED SCREWS OR COLOR: "PRIMED FINISH" FIELD PAINT TO MATCH PTE-04	

EXTERIOR METAL TRIM					
CODE	MATERIAL	MANUFACTURER	PRODUCT #	DESCRIPTION / REMARKS	VENDOR CONTACTS
TR-01	METAL	TAMLYN	EXTRUDED METAL CHANNEL USED AT TOWER ELEMENT	PINK ACCENT BAND SEE SF03 (PINK)	TAMLYN - XTREME TRIM IAN DANIELS 713-446-3075; idaniels@tamlyn.com OR HORACIO'S SHEET METAL MICHAEL TAVERES P: 508-985-9940; mike@horacios.com OR AGI RANDY KERR 800-877-3810 EXT. 3248; rkerr@agi.net
	METAL	HORACIO			
	METAL	AGI			
TR-02	METAL	TAMLYN	EXTRUDED METAL CHANNEL USED AT TOWER ELEMENT	OFF WHITE ACCENT BAND SEE SF04 (WHITE)	
	METAL	HORACIO			
	METAL	AGI			
TR-04	METAL	TAMLYN	(XOCLP34) OUTSIDE CORNER TRIM. USED AT TOWER ELEMENT	TO MATCH FIBER CEMENT LAP SIDING PS-03	JEFF HARVEY 774-287-6278 JEFFERY.HARVEY@JAMESHARDIE.COM
TR-05	METAL	TAMLYN	(XS516) BOTTOM "STARTER" TRIM. USED AT TOWER ELEMENT	CLEAR ANODIZED	
TR-06	METAL	TAMLYN	(JMH94) VERTICAL TERMINATION TRIM-TYP. USED AT TOWER ELEMENT	FACTORY FINISH TO MATCH FIBER CEMENT LAP SIDING PS-03	
TR-07	METAL	TAMLYN	(JMH716) TOP TRIM USED AT TOWER ELEMENT	FACTORY FINISH TO MATCH FIBER CEMENT LAP SIDING PS-03	
TR-08	METAL	JAMES HARDIE	JH SURROUND VERTICAL TRIM	FINISH: FACTORY CLEAR ANODIZED 16 GA TRIM AVAILABLE IN 8'-0" LENGTHS. USED WITH JAMES HARDIE REVEAL PANELS	
TR-09	METAL	JAMES HARDIE	JH SURROUND HORIZONTAL TRIM	FINISH: FACTORY CLEAR ANODIZED 16 GA TRIM AVAILABLE IN 8'-0" LENGTHS. USED WITH JAMES HARDIE REVEAL PANELS	
TR-10	METAL	JAMES HARDIE	JH SURROUND OUTSIDE CORNER TRIM	FINISH: FACTORY CLEAR ANODIZED 16 GA TRIM AVAILABLE IN 8'-0" LENGTHS. USED WITH JAMES HARDIE REVEAL PANELS	
TR-11	METAL	JAMES HARDIE	JH SURROUND J-CANNEL TRIM	FINISH: FACTORY CLEAR ANODIZED 16 GA TRIM AVAILABLE IN 8'-0" LENGTHS. USED WITH JAMES HARDIE REVEAL PANELS. NOTE: CAN BE USED VERTICALLY & HORIZONTALLY @ PENETRATION OR TRANSITION W/ OTHER MATERIALS	

The Zink logo, featuring the word "ZINK" in a bold, orange, sans-serif font, with a small pink dot above the "i" and a small orange circle above the "Z".

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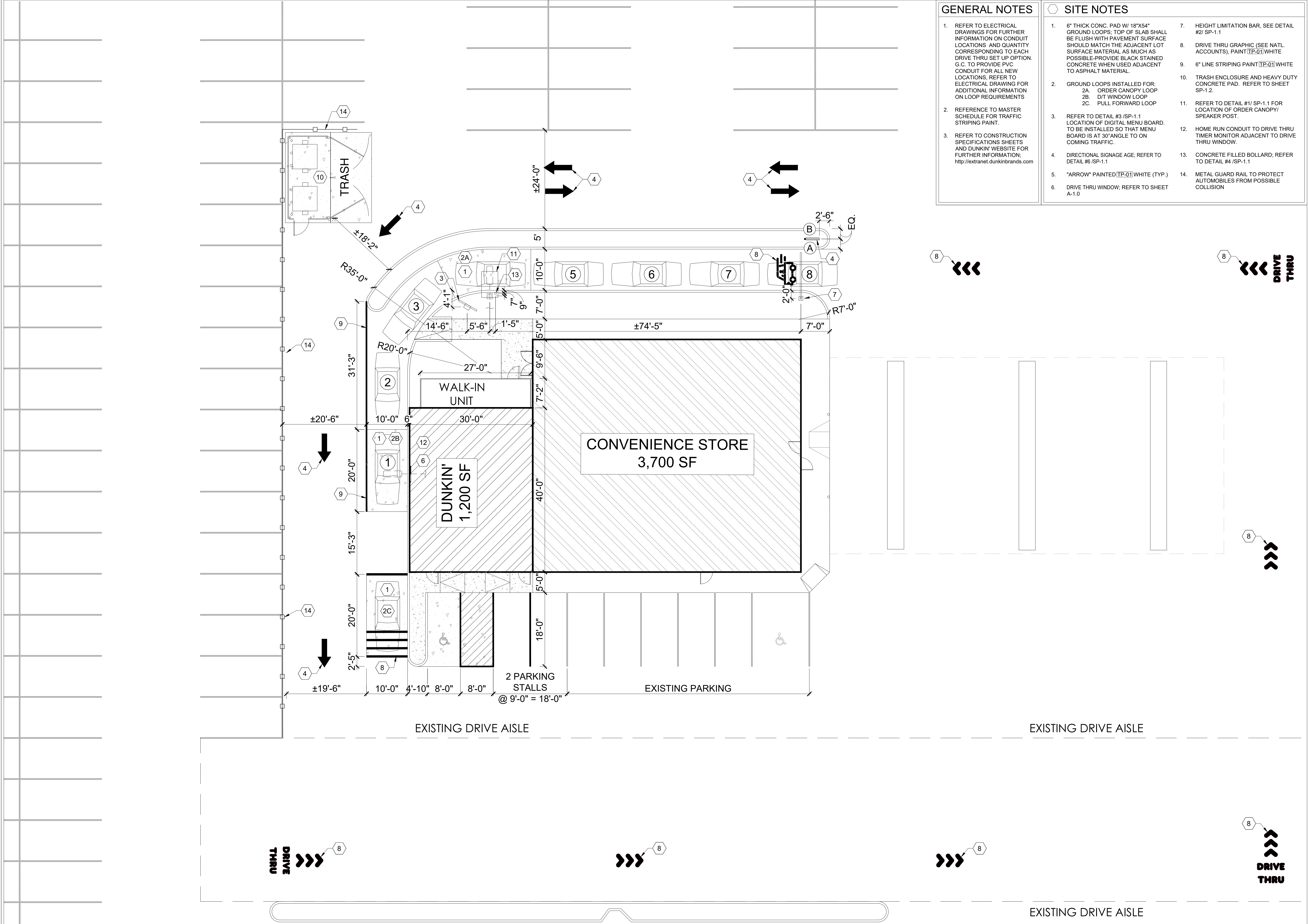
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REVISION	DESCRIPTION	ISSUE DATES	DRAWN	EV
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MASTER FINISH SCHEDULE	
DUNKIN'	
5590A US-10	
STEVENS POINT, WI 54482	
PC# 359536	

SHEET

GN-2.0



- GENERAL NOTES**
1. REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION ON CONDUIT LOCATIONS AND QUANTITY CORRESPONDING TO EACH DRIVE THRU SET UP OPTION. G.C. TO PROVIDE PVC CONDUIT FOR ALL NEW LOCATIONS; REFER TO ELECTRICAL DRAWING FOR ADDITIONAL INFORMATION ON LOOP REQUIREMENTS
 2. REFERENCE TO MASTER SCHEDULE FOR TRAFFIC STRIPING PAINT.
 3. REFER TO CONSTRUCTION SPECIFICATIONS SHEETS AND DUNKIN' WEBSITE FOR FURTHER INFORMATION; <http://extranet.dunkinbrands.com>

- SITE NOTES**
1. 6" THICK CONC. PAD W/ 18"x54" GROUND LOOPS; TOP OF SLAB SHALL BE FLUSH WITH PAVEMENT SURFACE. SHOULD MATCH THE ADJACENT LOT SURFACE MATERIAL AS MUCH AS POSSIBLE-PROVIDE BLACK STAINED CONCRETE WHEN USED ADJACENT TO ASPHALT MATERIAL.
 2. GROUND LOOPS INSTALLED FOR:
2A. ORDER CANOPY LOOP
2B. D/T WINDOW LOOP
2C. PULL FORWARD LOOP
 3. REFER TO DETAIL #3 /SP-1.1 LOCATION OF DIGITAL MENU BOARD. TO BE INSTALLED SO THAT MENU BOARD IS AT 30° ANGLE TO ON COMING TRAFFIC.
 4. DIRECTIONAL SIGNAGE AGE; REFER TO DETAIL #6 /SP-1.1
 5. "ARROW" PAINTED (TP-01) WHITE (TYP.)
 6. DRIVE THRU WINDOW; REFER TO SHEET A-1.0
 7. HEIGHT LIMITATION BAR, SEE DETAIL #2/ SP-1.1
 8. DRIVE THRU GRAPHIC (SEE NATL. ACCOUNTS), PAINT (TP-01) WHITE
 9. 6" LINE STRIPING PAINT (TP-01) WHITE
 10. TRASH ENCLOSURE AND HEAVY DUTY CONCRETE PAD. REFER TO SHEET SP-1.2
 11. REFER TO DETAIL #1/ SP-1.1 FOR LOCATION OF ORDER CANOPY/ SPEAKER POST.
 12. HOME RUN CONDUIT TO DRIVE THRU TIMER MONITOR ADJACENT TO DRIVE THRU WINDOW.
 13. CONCRETE FILLED BOLLARD; REFER TO DETAIL #4 /SP-1.1
 14. METAL GUARD RAIL TO PROTECT AUTOMOBILES FROM POSSIBLE COLLISION

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EV	MV	05-17-24	19043
DRAWN	CHECKED	DATE	PROJECT No
ISSUE DATES	05/23/24		
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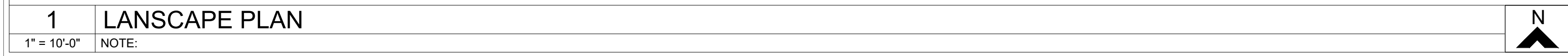
SITE PLAN & NOTES

DUNKIN'
5590A US-10
STEVENS POINT, WI 54482

PC# 359536

SHEET

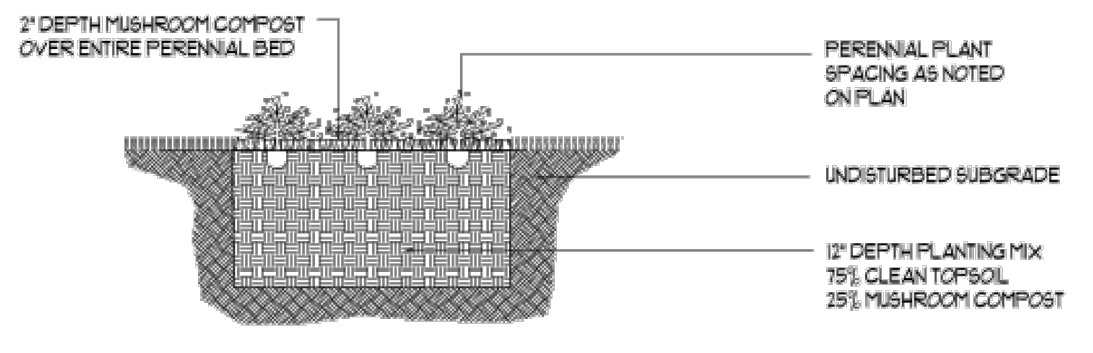
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- 1) The Landscape Contractor shall provide and install all plant materials in the quantities and sizes sufficient to complete planting as shown on the Landscape Plans. All plants shall comply with the requirements of the current American Standard for Nursery Stock published by The American Nursery and Landscape Association. Plants shall meet size, genus, species and variety and be in good health, free of insects, diseases or defects. No "park grade" materials shall be accepted. Trees not exhibiting a central (or single) leader will be rejected unless noted in the plant list as multi-stem. Quantity lists are supplied for convenience. The Landscape Contractor shall verify all quantities and, in case of a discrepancy, the drawn plan shall prevail over the plant list. No plants are to be changed or substituted without approval of the Owner or a representative of James Dowden & Associates, Inc.
- 2) All plants shall be watered during the first 24-hour period following installation. A watering schedule must be agreed upon with the Owner (before plantings are installed) of whom, when and how plant materials are to be properly watered. The Landscape Contractor shall verify proper watering is being done for the establishment and health of all plant materials. The Landscape Contractor shall warranty all plant materials for one year from the time of installation and project acceptance.
- 3) Plants shall be balled and burlapped unless otherwise noted on the Landscape Plans. No root bound materials shall be accepted and all synthetic or plastic materials shall be removed at the time of planting. It is the option of the Landscape Contractor to roll back burlap from the top of the root ball.
- 4) Recommended mulch depth is four inches (4") of shredded hardwood bark. The Landscape Contractor shall avoid over-mulching and the creation of "mulch volcanoes." Mulch Beds shall extend a minimum of two feet (2') beyond the center of a tree or shrub. Mulch must be pulled back at least two inches (2") from the base of a tree so the base of the trunk and root crown are exposed.
- 5) Prepare all perennial beds with one cubic yard of garden compost per 100 sf and the compost shall be rotillated to an 8" depth.
- 6) All plants shall be set plumb. It is the option of the landscape contractor to plant deciduous trees but it is also the responsibility of the Landscape Contractor to guarantee the plants remain stable until the end of the guarantee period.
- 7) Trees shall be installed a minimum of five feet (5') horizontally from underground electrical feeders, sanitary sewers, utility services, water mains, and water services. Trees shall be installed a minimum of ten feet (10') horizontally from utility structures including, but not limited to, manholes, valve vaults and valve boxes. Shade trees shall be a minimum of ten feet (10') from all light poles and all shrubs shall be a minimum of three to five feet (3'-5') from all fire hydrants.
- 8) The Landscape Contractor shall locate the existence of all underground utilities prior to starting work. The Landscape Contractor must also keep the pavement and work areas in neat and orderly condition throughout the construction process. The Landscape Contractor shall acquaint himself with, and verify, Working conditions in advance of submitting a proposal. Failure to recognize inherent responsibilities does not relieve the contractor of obligations due to miscalculations.
- 9) Property owners shall be responsible for maintaining all landscaping shown on the approved plans throughout the life of the development.
- 10) Turf shall be Premium Bluegrass Mix seed and blanket in all disturbed areas except where sod is noted.
- 11) Once a Landscape Plan has been approved and a Building Permit issued, the Planning and Zoning Administration may authorize minor revisions to the approved Landscape Plan including the substitution of equivalent planting and ground covers where such revisions do not diminish the benefits of the approved Landscape Plan. As such, revisions shall require the written approval of the Planning and Zoning Administrator.
- 12) Trees and shrubs shall not be located closer than ten (10) feet to fire hydrants, transformers, or other above ground utilities.
- 13) Bare root plants shall not be allowed.
- 14) All planted areas and landscaped islands shall receive a four (4) inch layer of shredded hardwood bark mulch.

QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS	KEY
HPFLT	FIRE LIGHT TIDBIT HYDRANGEA	HYDRANGEA PANICULATA "FIRE LIGHT TIDBIT"	24"	CONT.	HPFLT
RM	CORAL DRIFT ROSE	ROSE "MEIDRIFORA"	24"	CONT.	RM
SPMK	MISS KIM LILAC	SYRINGA PATULA "MISS KIM"	24"	CONT.	SPMK
SBB	BACK IN BLACK SEDUM	SEDUM "BACK IN BLACK"	#1	POTS	SBB

MIX %	SEED	GERMINATION	ORGIN
22.82%	AWARD KENTUCKY BLUEGRASS	85%	OR
22.22%	NUGLADE KENTUCKY BLUEGRASS	85%	OR/WA
17.79%	KACKPOT KENTUCKY BLUEGRASS	85%	OR/WA
16.11%	EVEREST KENTUCKY BLUEGRASS	85%	OR
9.98%	FIESTA 4 PERENNIAL RYEGRASS	90%	MN
9.97%	HANCOCK PERENNIAL RYEGRASS	90%	MN
1.11%	INERT MATTER		

The Zinko logo is located in the top right corner. It consists of the word "Zinko" in a stylized, rounded, orange font. Above the letter "i" is a small pink dot, and above the letter "o" is a small orange circle.

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REVISION	DESCRIPTION	ISSUE DATES	DRAWN	EV
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LANDSCAPE PLAN, DETAILS, & NOTES

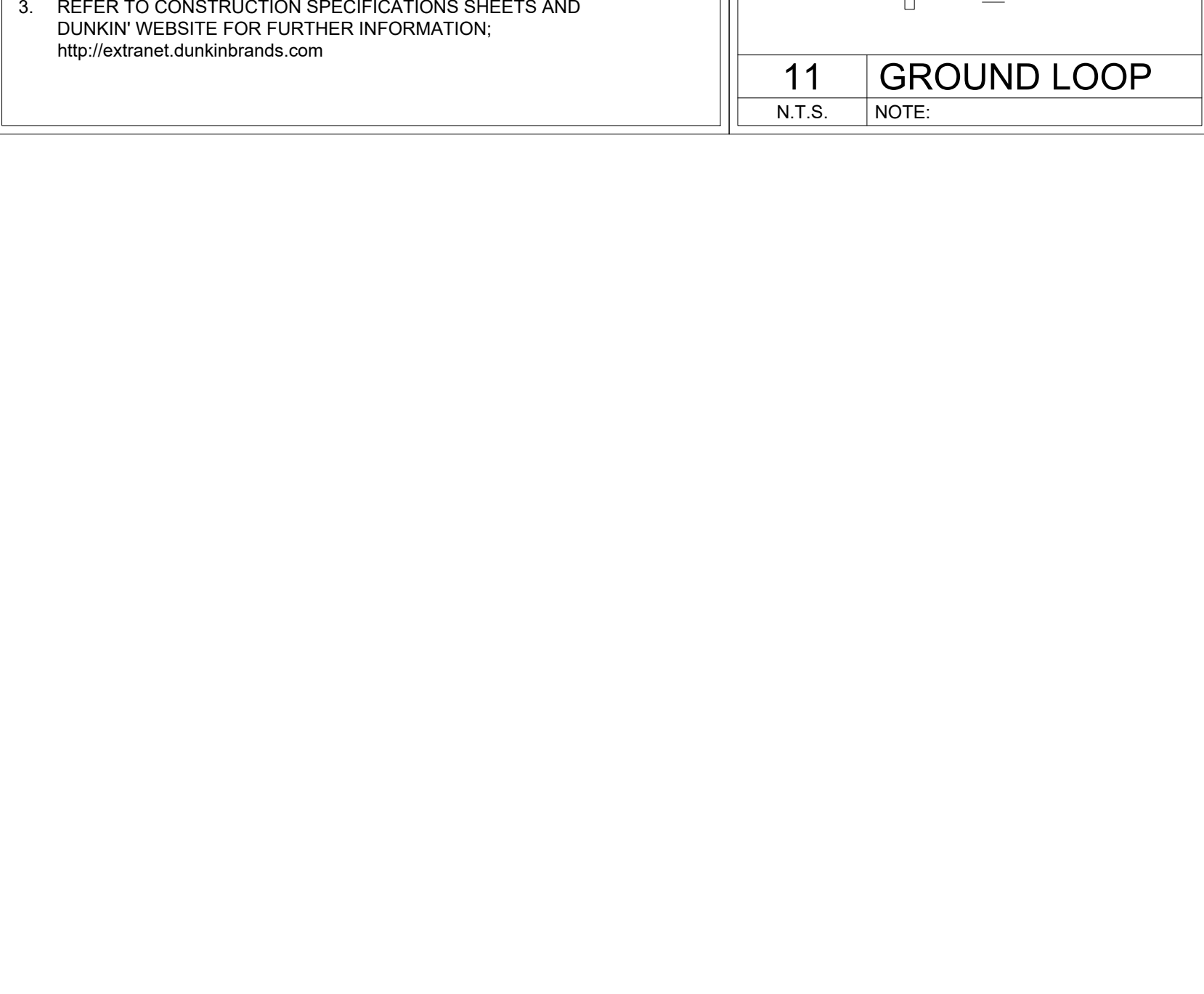
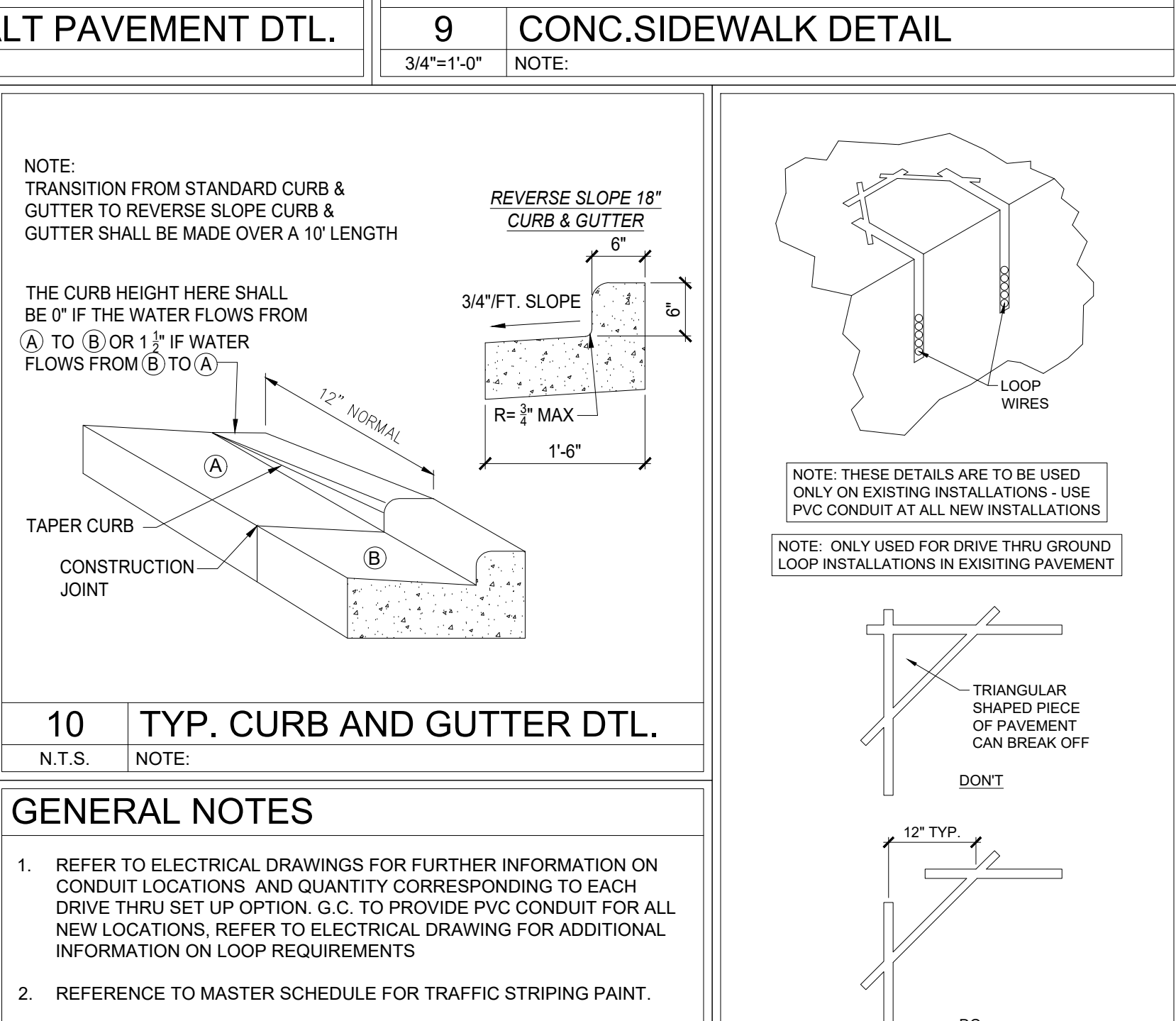
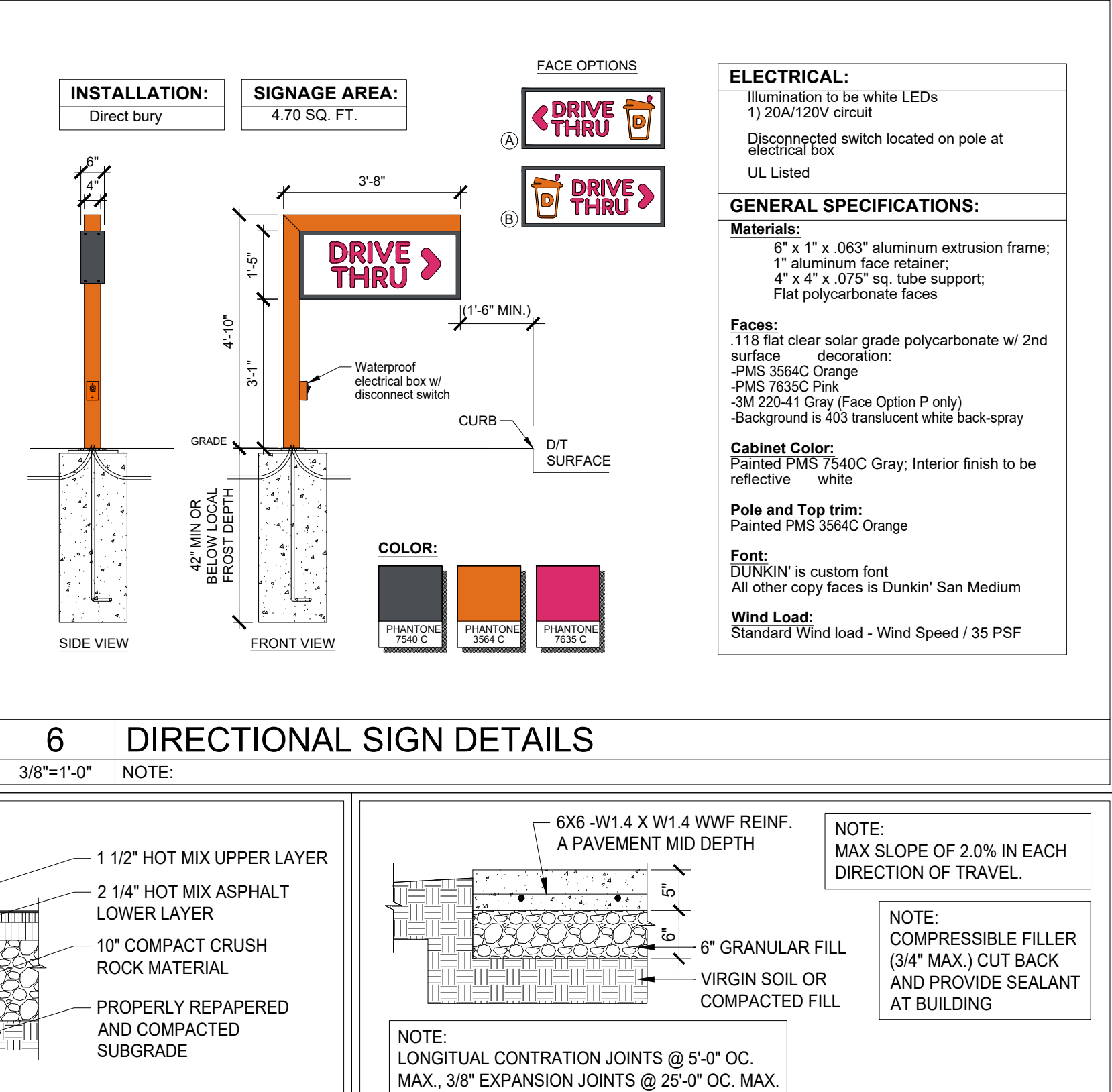
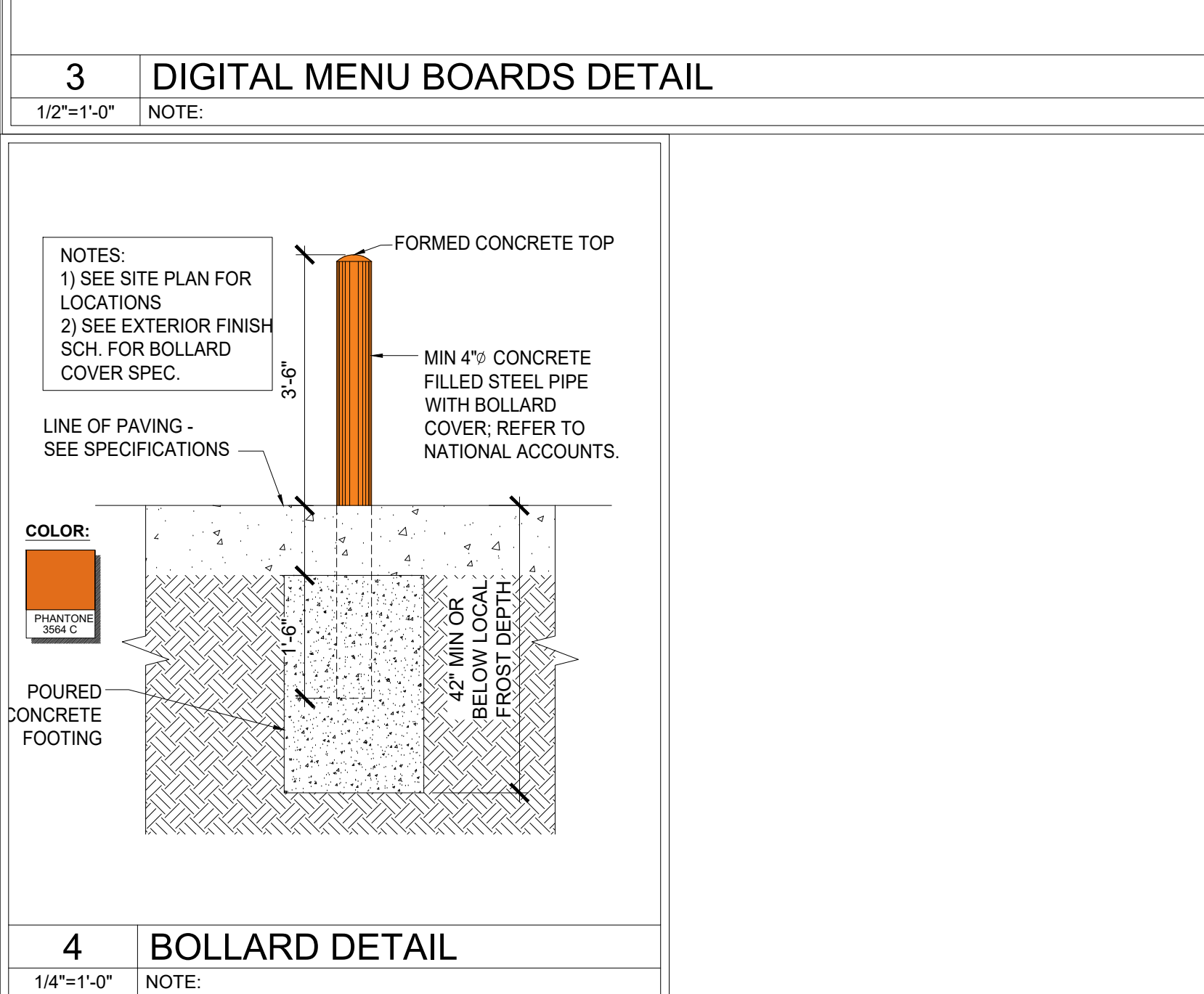
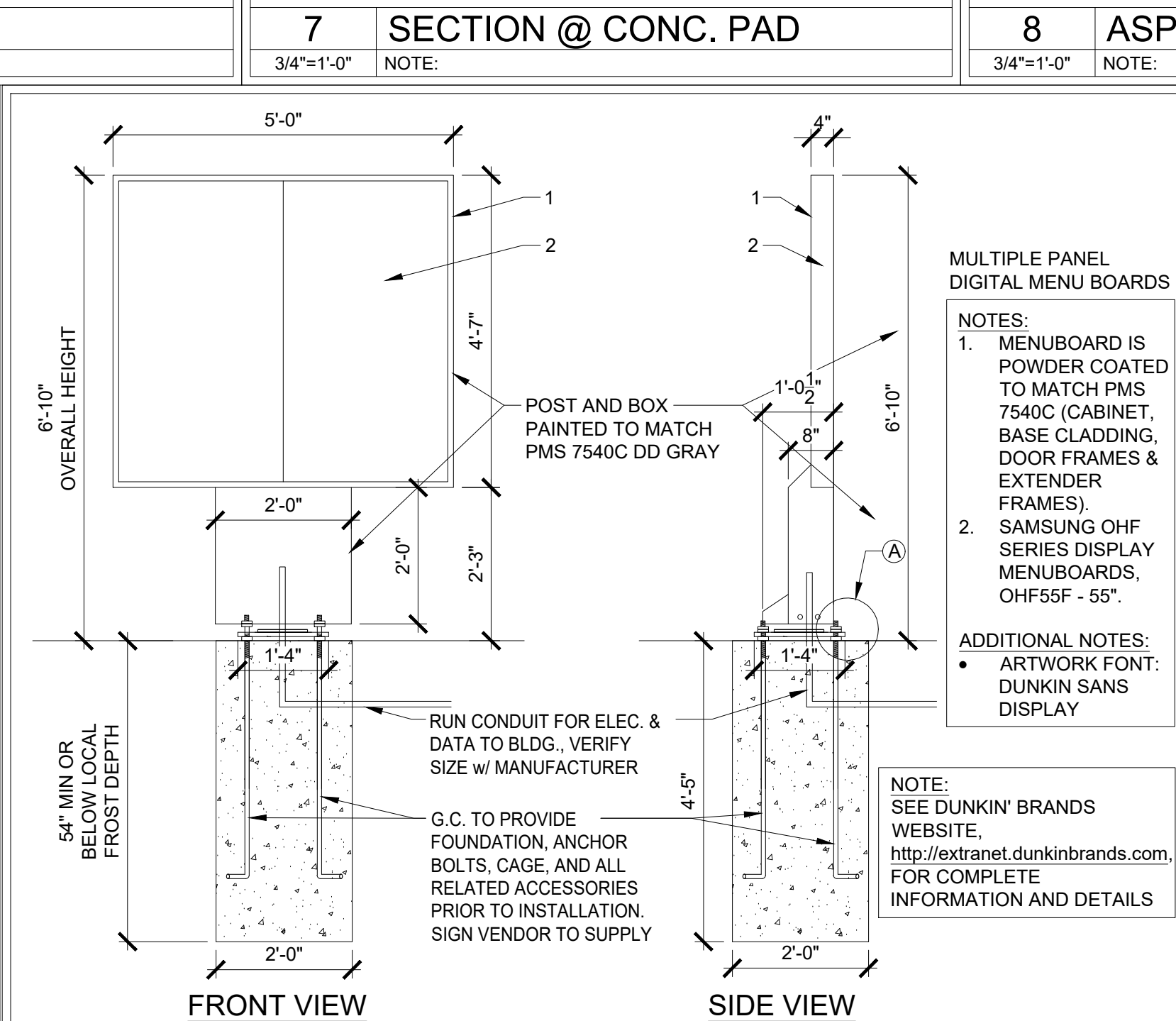
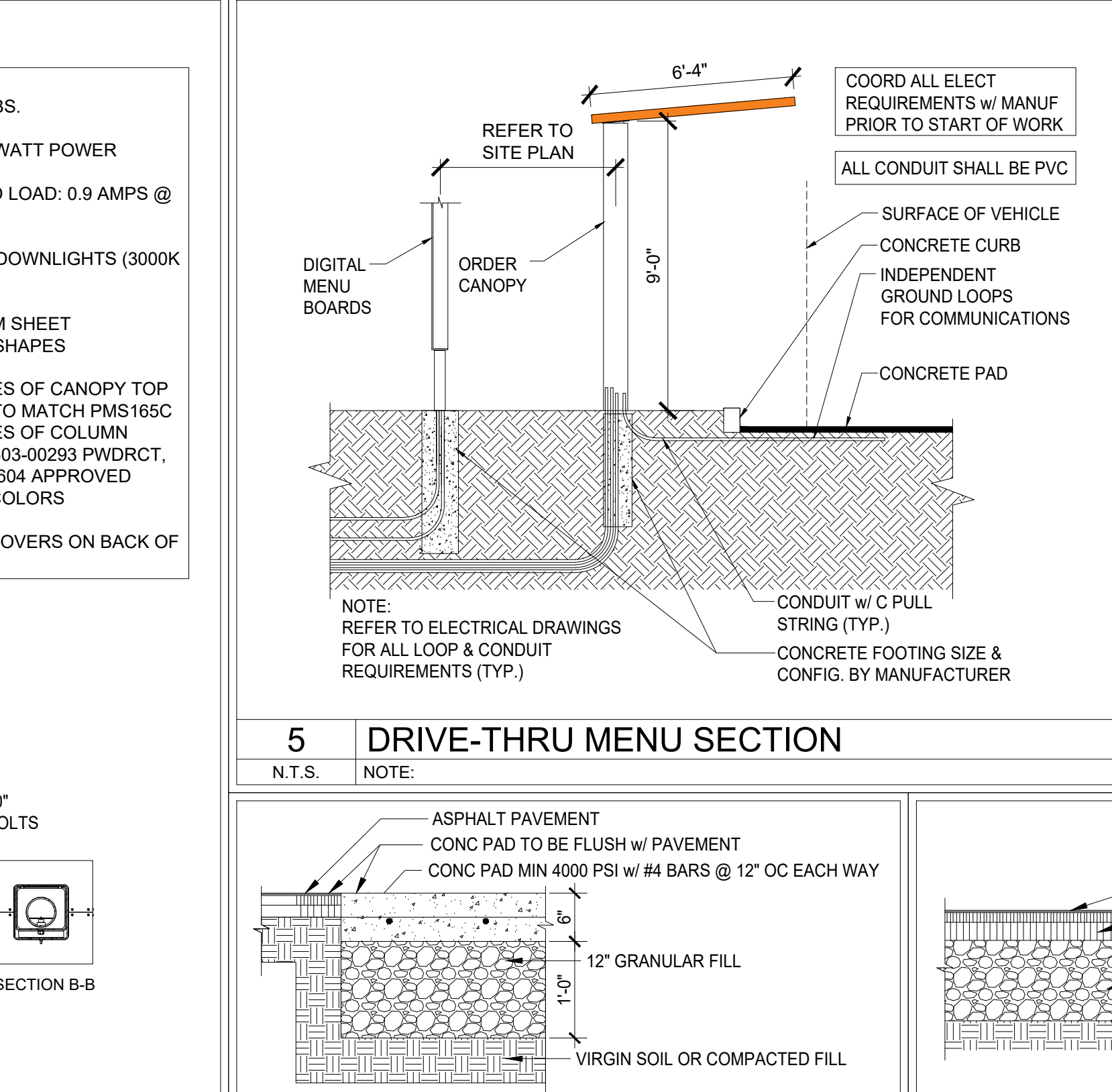
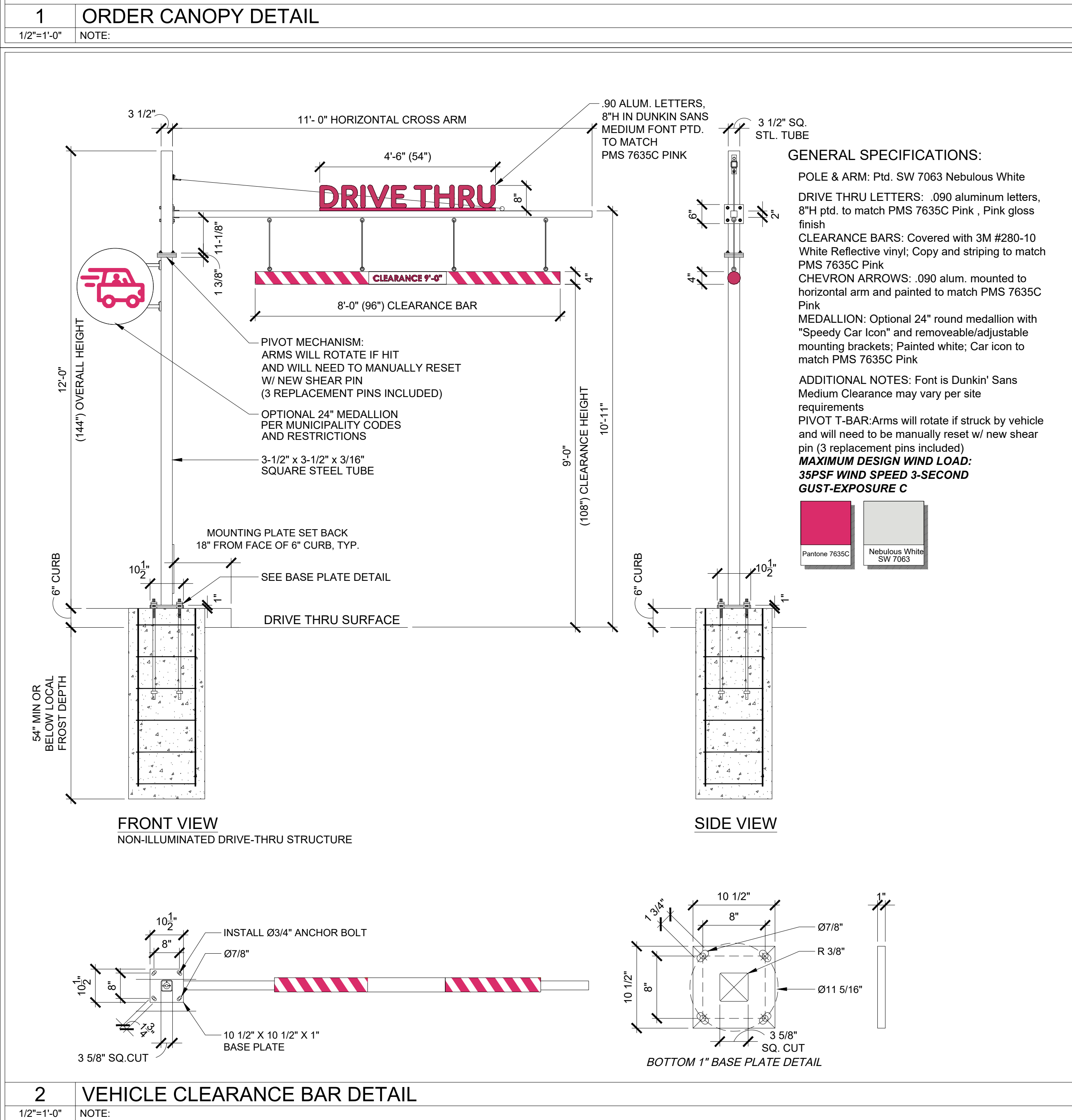
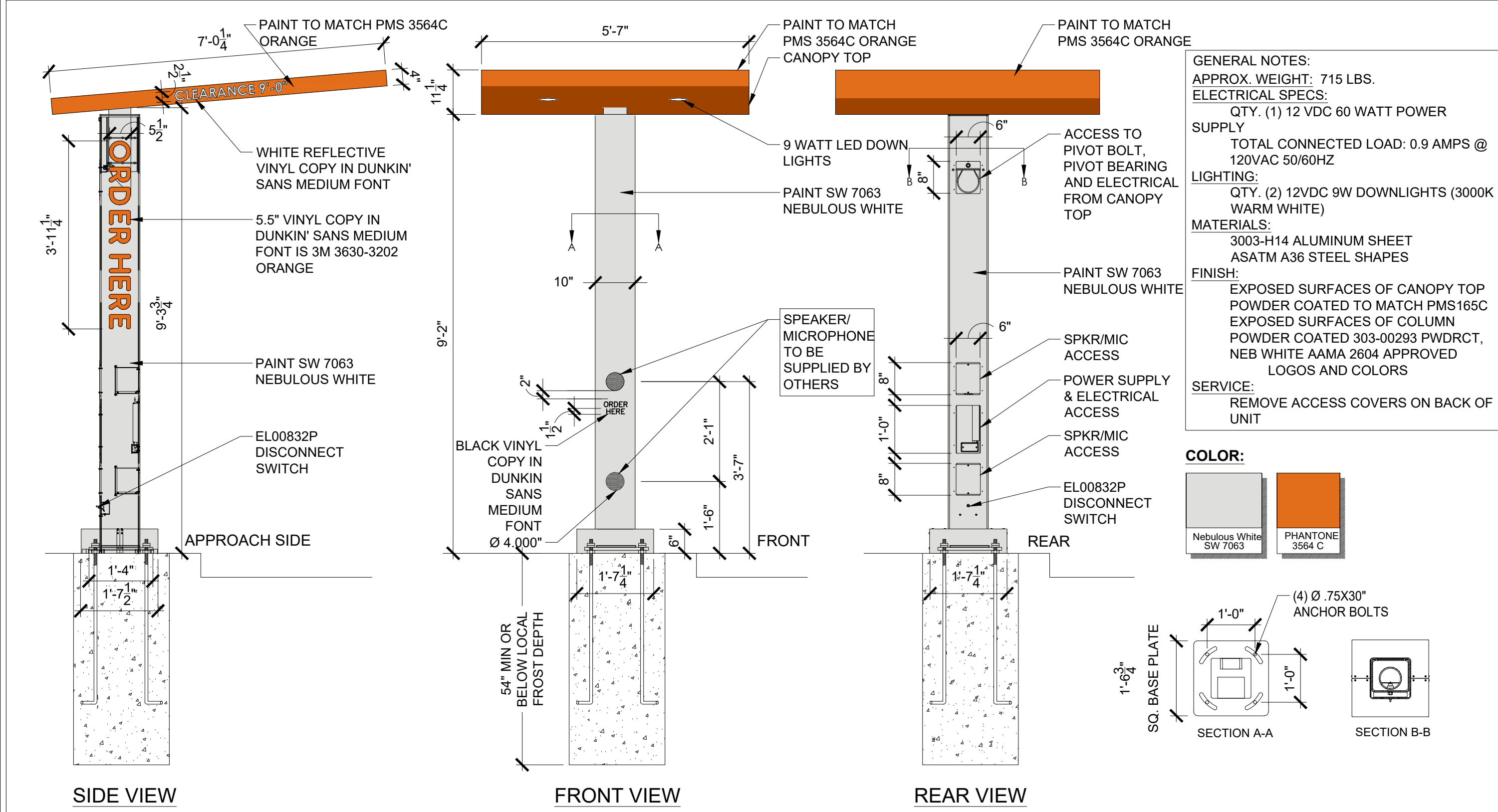
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SITE DETAILS & NOTES

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STEVENS POINT, WI 54482

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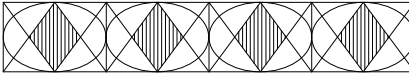


N.T.S.	NOTE:
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REVISION	DESCRIPTION	ISSUE DATES	DRAWN	EV
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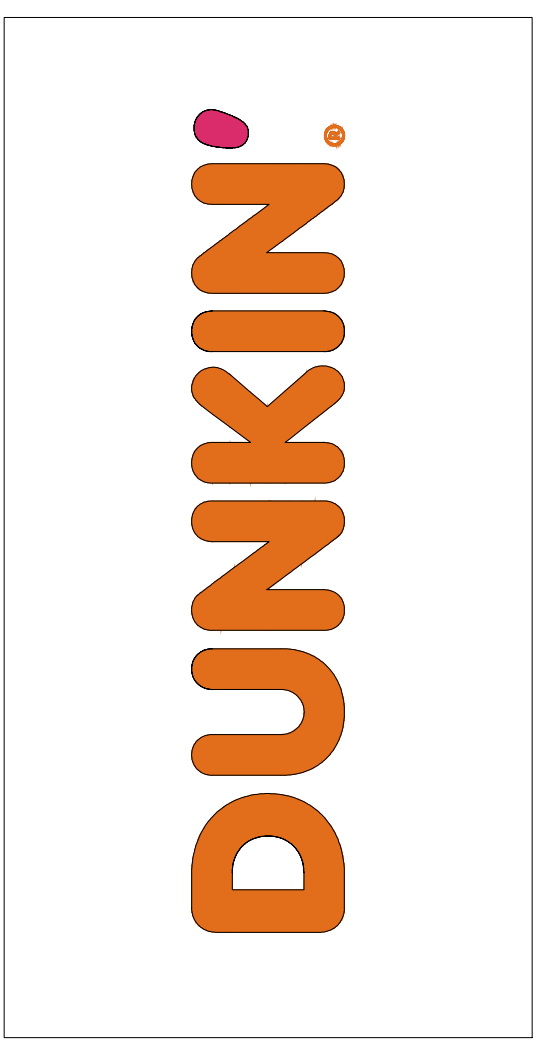
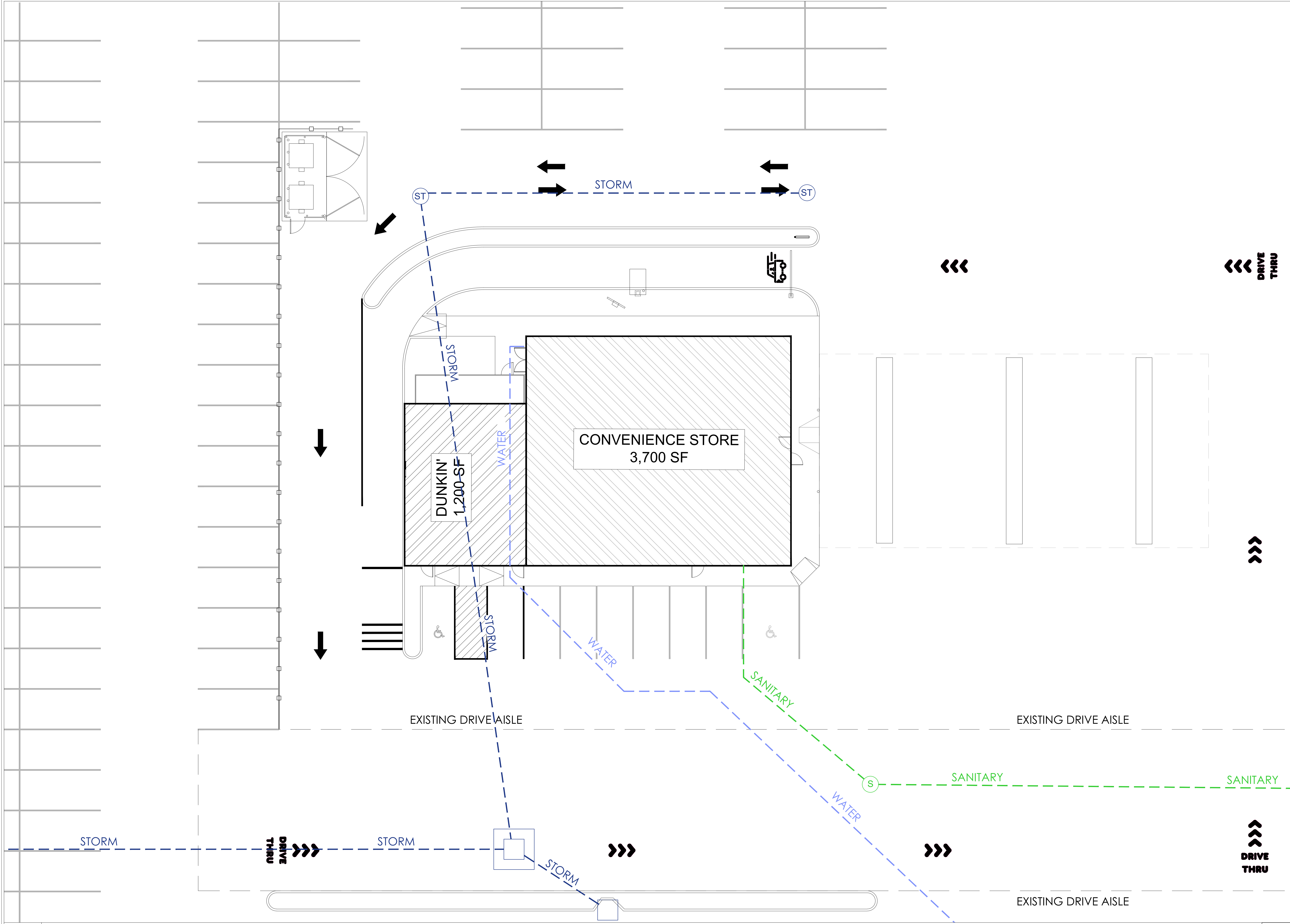
SITE DETAILS

DUNKIN'
5590A US-10
STEVENS POINT, WI 54482

PC# 359536

SHEET

SP-1.2

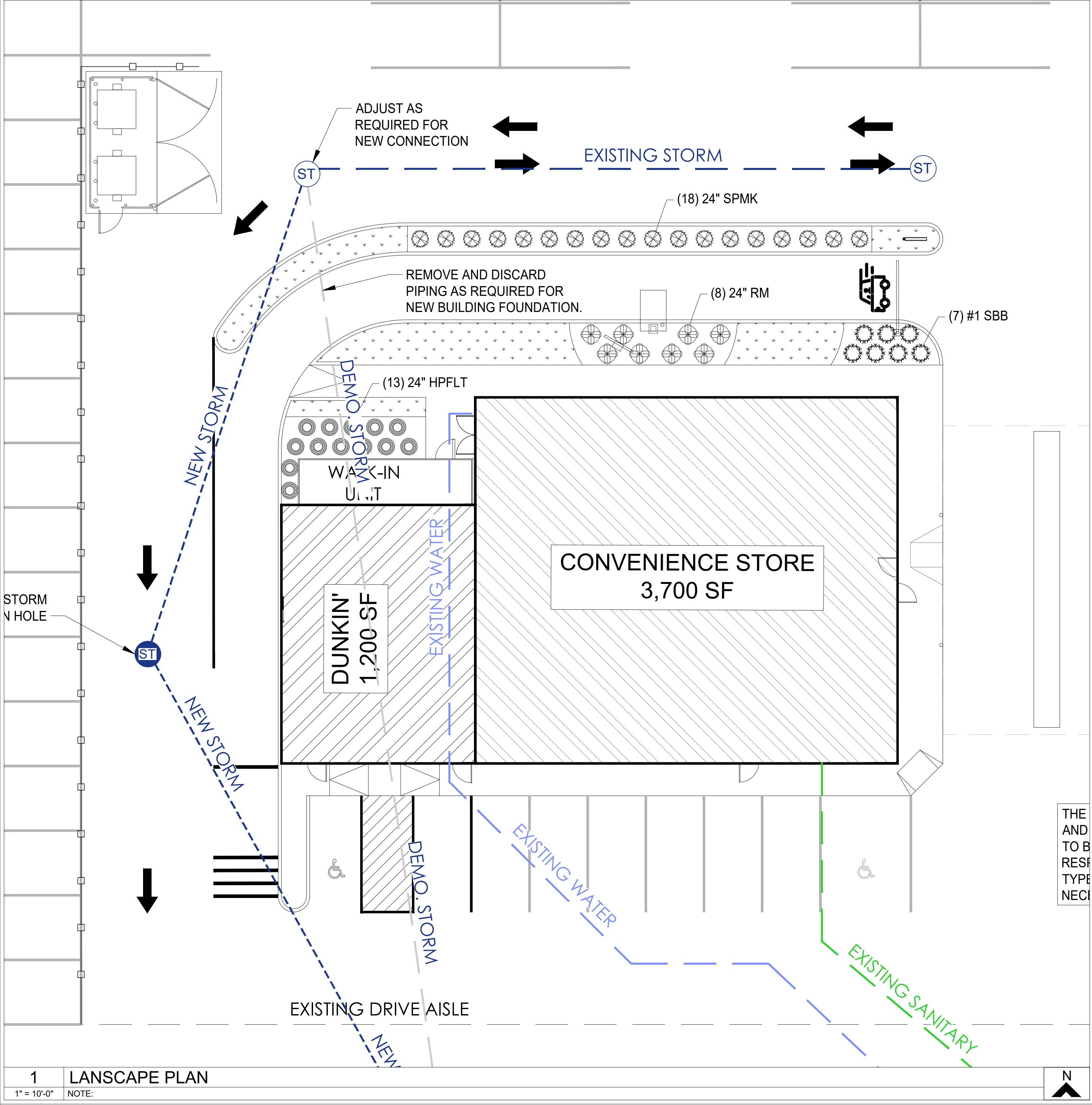


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REVISION	DESCRIPTION	ISSUE DATES	EV			
			DRAWN	CHECKED	DATE	PROJECT No
1					05-17-24	19043
2						
3						
4						
5						
6						
7						
8						
9						
10						

UTILITY SITE PLAN	DUNKIN' 5590A US-10 STEVENS POINT, WI 54482	PC# 359536
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SHEET	SP-2.0
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GENERAL NOTES

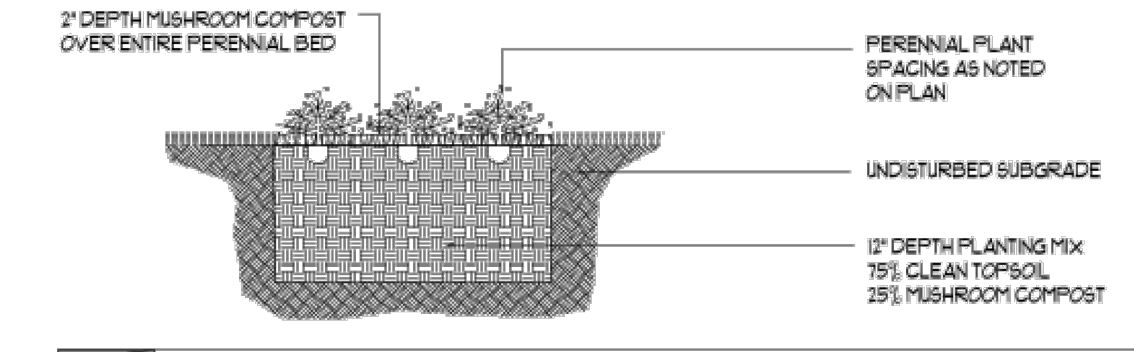
- 1) The Landscape Contractor shall provide and install all plant materials in the quantities and sizes sufficient to complete planting as shown on the Landscape Plans. All plants shall comply with the requirements of the current American Standard for Nursery Stock published by The American Nursery and Landscape Association. Plants shall meet size, genus, species and variety and be in good health, free of insects, diseases or defects. No "park grade" materials shall be accepted. Trees not exhibiting a central (or single) leader will be rejected unless noted in the plant list as multi-stem. Quantity lists are supplied for convenience. The Landscape Contractor shall verify all quantities and, in case of a discrepancy, the drawn plan shall prevail over the plant list. No plants are to be changed or substituted without approval of the Owner or a representative of James Dowden & Associates, Inc.
- 2) All plants shall be watered during the first 24-hour period following installation. A watering schedule must be agreed upon with the Owner (before plantings are installed) of whom, when and how plant materials are to be properly watered. The Landscape Contractor shall verify proper watering is being done for the establishment and health of all plant materials. The Landscape Contractor shall warranty all plant materials for one year from the time of installation and project acceptance.
- 3) Plants shall be balled and burlapped unless otherwise noted on the Landscape Plans. No root bound materials shall be accepted and all synthetic or plastic materials shall be removed at the time of planting. It is the option of the Landscape Contractor to roll back burlap from the top of the root ball.
- 4) Recommended mulch depth is four inches (4") of shredded hardwood bark. The Landscape Contractor shall avoid over-mulching and the creation of "mulch volcanoes." Mulch Beds shall extend a minimum of two feet (2') beyond the center of a tree or shrub. Mulch must be pulled back at least two inches (2") from the base of a tree so the base of the trunk and root crown are exposed.
- 5) Prepare all perennial beds with one cubic yard of garden compost per 100 sf and the compost shall be rototilled to an 8" depth.
- 6) All plants shall be set plumb. It is the option of the landscape contractor to stake deciduous trees but it is also the responsibility of the Landscape Contractor to guarantee the plants remain plumb until the end of the guarantee period.
- 7) Trees shall be installed a minimum of five feet (5') horizontally from underground electrical feeders, sanitary sewers, sanitary services, water mains, and water services. Trees shall be installed a minimum of ten feet (10') horizontally from utility structures including, but not limited to, manholes, valve vaults and valve boxes. Shade trees shall be a minimum of ten feet (10') from all light poles and all shrubs shall be a minimum of three to five feet (3'-5') from all fire hydrants.
- 8) The Landscape Contractor shall locate the existence of all underground utilities prior to starting work. The Landscape Contractor must also keep the pavement and work areas in neat and orderly condition throughout the construction process. The Landscape Contractor shall acquaint himself with, And verify, Working conditions in advance of submitting a proposal. Failure to recognize inherent responsibilities does not relieve the contractor of obligations due to miscalculations.
- 9) Property owners shall be responsible for maintaining all landscaping shown on the approved plans throughout the life of the development.
- 10) Turf shall be Premium Bluegrass Mix seed and blanket in all disturbed areas except where sod is noted.
- 11) Once a Landscape Plan has been approved and a Building Permit issued, the Planning and Zoning Administrator may authorize minor revisions to the approved Landscape Plan including the substitution of equivalent planting and ground covers where such revisions do not diminish the benefits of the approved Landscape Plan. As such, revisions shall require the written approval of the Planning and Zoning Administrator.
- 12) Trees and shrubs shall not be located closer than ten (10) feet to fire hydrants, transformers, or other above ground utilities.
- 13) Bare root plants shall not be allowed.
- 14) All planted areas and landscaped islands shall receive a four (4) inch layer of shredded hardwood bark mulch.

PLANT LIST

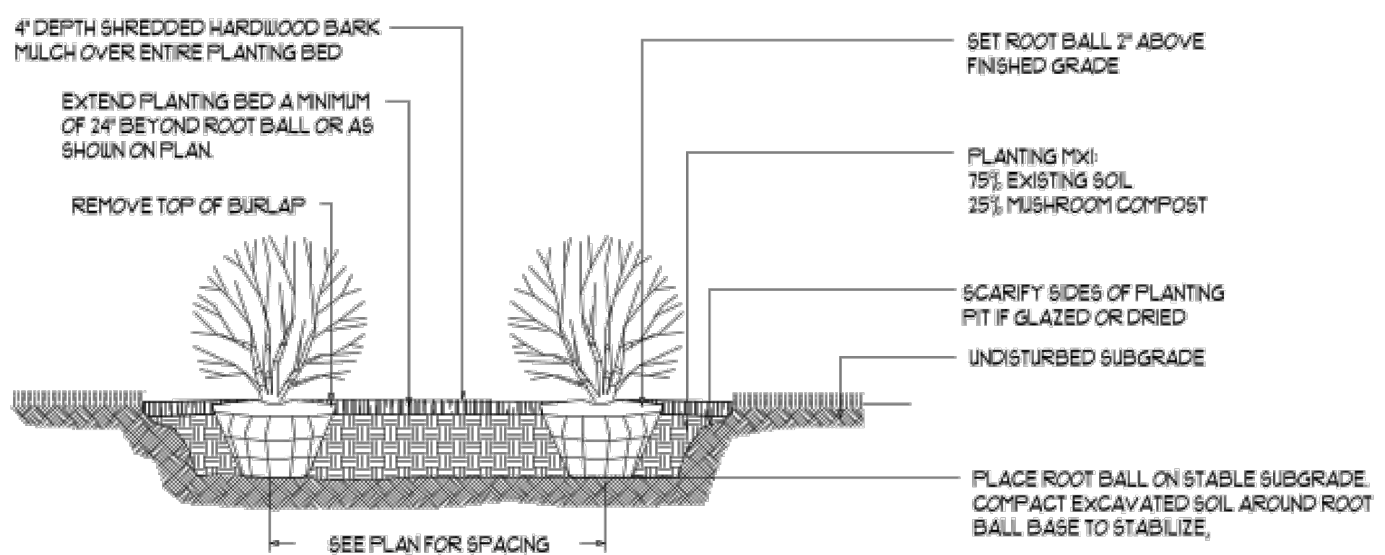
QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS	KEY
HPFLT	FIRE LIGHT TIDBIT HYDRANGEA	HYDRANGEA PANICULATA 'FIRE LIGHT TIDBIT'	24"	CONT.	HPFLT
RM	CORAL DRIFT ROSE	ROSE 'MEIDRIFORA'	24"	CONT.	RM
SPMK	MISS KIM LILAC	SYRINGA PATULA 'MISS KIM'	24"	CONT.	SPMK
SBB	BACK IN BLACK SEDUM	SEDUM 'BACK IN BLACK'	#1	POTS	SBB

PLANT LIST

MIX %	SEED	GERMINATION	ORGIN
22.82%	AWARD KENTUCKY BLUEGRASS	85%	OR
22.22%	NUGLADE KENTUCKY BLUEGRASS	85%	OR/WA
17.79%	KACKPOT KENTUCKY BLUEGRASS	85%	OR/WA
16.11%	EVEREST KENTUCKY BLUEGRASS	85%	OR
9.98%	FIESTA 4 PERENNIAL RYEGRASS	90%	MN
9.97%	HANCOCK PERENNIAL RYEGRASS	90%	MN
1.11%	INERT MATTER		

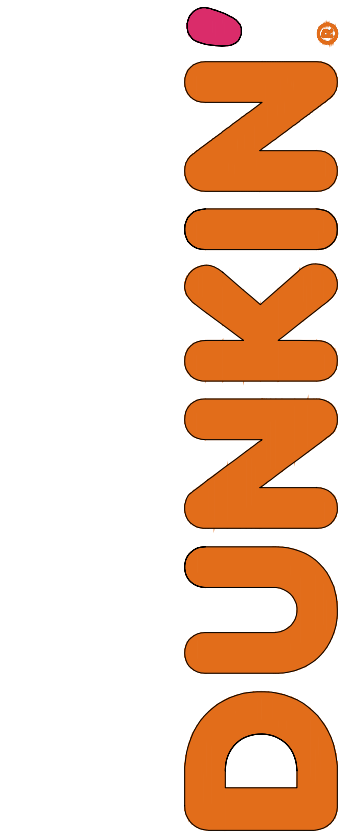


DETAIL PERENNIAL PLANTING



DETAIL SHRUB PLANTING

1 LANDSCAPE PLAN
1" = 10'-0" NOTE:



MRV
ARCHITECTS, INC.
5105 TOLLVIEW DR., SUITE 201
ROLLING MEADOWS, IL 60008

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EV	MV	05-17-24	19043	
DRAWN	CHECKED	DATE	PROJECT No	
ISSUE DATES				
DESCRIPTION				
REVISION				

LANDSCAPE PLAN, DETAILS, & NOTES

DUNKIN'
5590A US-10
STEVENS POINT, WI 54482
PC# 359536

SHEET

LP-1.0





MEMORANDUM

To: Plan Commission

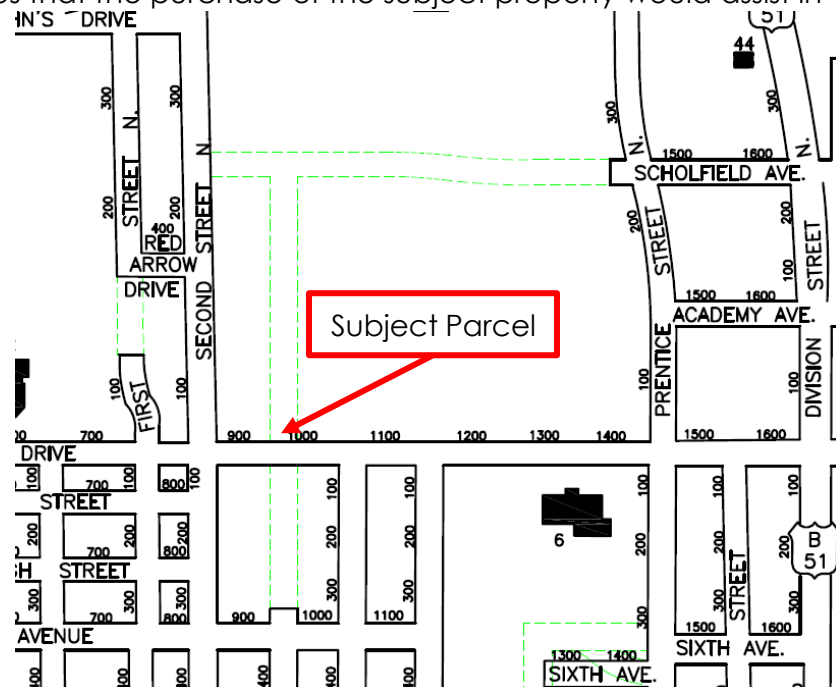
From: Adam Kuhn, AICP
Associate Planner / Zoning Administrator

Date: June 3, 2024

RE: **Request to Purchase 1000 Maria Drive**

Background: Consistent with §66.23(5), the Plan Commission will need to provide a recommendation to the Common Council on the request to purchase the property located at 1000 Maria Drive (Parcel ID 281240829240020). As shown within the City's Official Street Map, an extension of Third Street from Sixth Avenue to Scholfield Avenue is proposed. City staff believes that the purchase of the subject property would assist in extending Third Street north of Maria Drive and ultimately achieve the desired goals from this long-term transportation planning document.

Staff recommends approval as presented.



Stevens Point Official Street Map

www.stevenspoint.com

Open Records Rider: The City of Stevens Point is subject to Wisconsin Statutes relating to public records. Communication, such as this document, sent or received by City employees are subject to these laws. Unless otherwise exempted from the public records law, senders and receivers of City communication should presume that the communications are subject to release upon request, and to state record retention requirements.



MEMORANDUM

To: Plan Commission

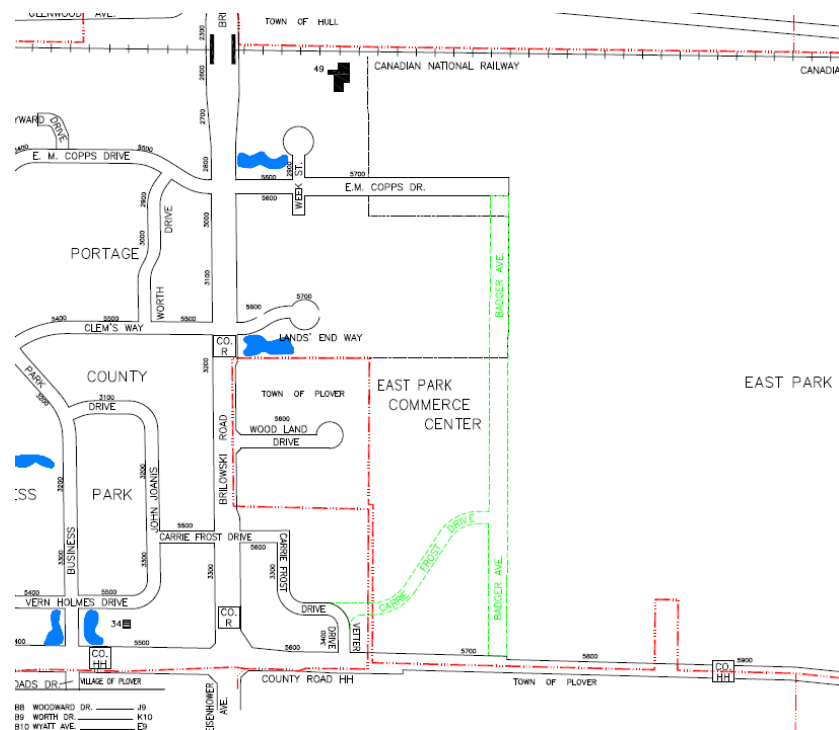
From: Adam Kuhn, AICP
Associate Planner / Zoning Administrator

Date: June 3, 2024

RE: **Certified Survey Map & Right-of-Way Dedication – Badger Avenue**

Background: For years, City staff have been planning for an eventual creation of Badger Avenue, connecting E M Copps Drive with County Road HH. This planned road has already been identified within the City's Official Street Map, and would be consequential for future development opportunities within the East Park Commerce Center.

The attached certified survey map includes the subdividing of one parcel, along with the attachment of existing platted land that will make up Badger Avenue. City staff is requesting approval of this certified survey map, along with the dedication of Badger Avenue for right-of-way purposes.



Stevens Point Official Street Map

www.stevenspoint.com

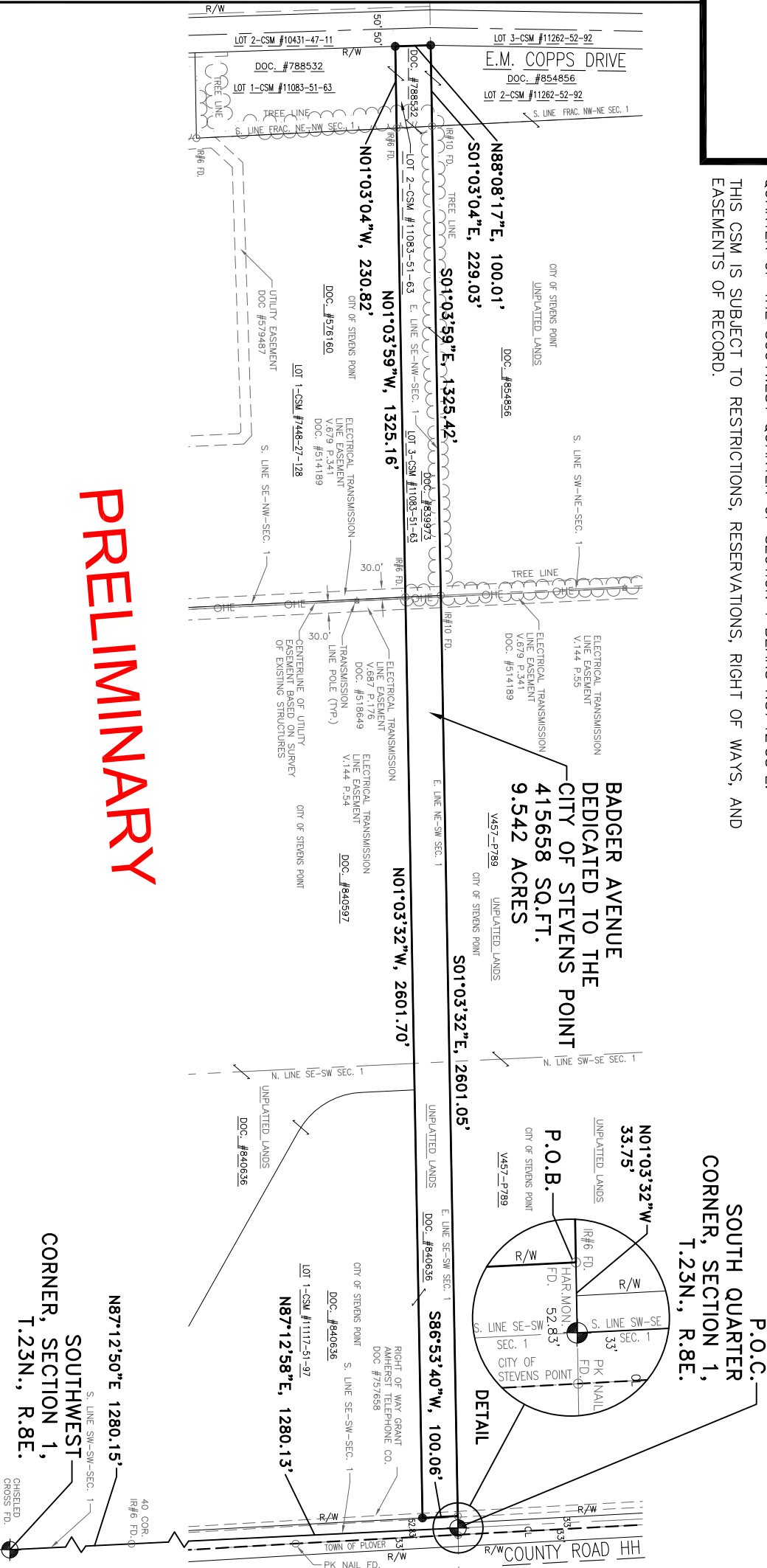
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● 3/4" X 18" IRON REBAR SET-1.5#/FT.
● GOVERNMENT CORNER OF RECORD

ALL OF LOTS 2 AND 3 OF PORTAGE COUNTY CERTIFIED SURVEY MAP NUMBER 11083-51-63, LOCATED IN THE FRACTIONAL NORTHEAST QUARTER OF THE NORTHEAST QUARTER AND THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER, AND A PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 23 NORTH, RANGE 8 EAST, CITY OF STEVENS POINT, PORTAGE COUNTY, WISCONSIN.

THIS INSTRUMENT WAS DRAFTED BY PATRICK J. FUEHRER.

THIS CSM IS SUBJECT TO RESTRICTIONS, RESERVATIONS, RIGHT OF WAYS, AND EASEMENTS OF RECORD.



SURVEYOR'S CERTIFICATE

I Patrick J. Fuehrer, Professional Land Surveyor, do hereby certify:

That I have surveyed, divided, and mapped the land described and represented by this Certified Survey Map, being all of Lots 2 and 3 of Portage County Certified Survey Map Number 11083-51-63, located in the Fractional Northeast Quarter of the Northwest Quarter and the Southeast Quarter of the Northwest Quarter, and a part of the Northeast Quarter of the Southwest Quarter and the Southeast Quarter of the Southwest Quarter of Section 1, Township 23 North, Range 8 East, City of Stevens Point, Portage County, Wisconsin.

Commencing at the south quarter corner of said Section 1; thence North 01 degree 03 minutes 32 seconds West along the east line of the Southeast Quarter of the Southwest Quarter of said Section 1 a distance of 33.75 feet to the north right of way line of County Road HH and the point of beginning; thence South 86 degrees 53 minutes 40 seconds West along said north right of way line of 100.06 feet to the southeast corner of Lot 1 of Portage County Certified Survey Map Number 11117-51-97; thence North 01 degree 03 minutes 32 seconds West along the east line of said Lot 1 and 100.00 feet west of and parallel with the east line of the Southwest Quarter of said Section 1 a distance of 2,601.70 feet to the southwest corner of Lot 3 of Portage County Certified Survey Map Number 11083-51-63; thence North 01 degree 03 minutes 59 seconds West along the west line of said Lot 3 a distance of 1,325.16 feet to the southwest corner of Lot 2 of said Portage County Certified Survey Map Number 11083-51-63; thence North 01 degree 03 minutes 04 seconds West along the west line of said Lot 2 a distance of 230.82 feet to the south right of way line of E.M. Copps Drive; thence North 88 degrees 08 minutes 17 seconds East along said south right of way line 100.01 feet to the northeast corner of said Lot 2 of Portage County Certified Survey Map Number 11083-51-63; thence South 01 degree 03 minutes 04 seconds East along the east line of said Lot 2 a distance of 229.03 feet to the northeast corner of said Lot 3 of Portage County Certified Survey Map Number 11083-51-63; thence South 01 degree 03 minutes 59 seconds East along the east line of said Lot 3 a distance of 1,325.42 feet to the southeast corner thereof and the northeast corner of said Southwest Quarter of Section 1; thence South 01 degree 03 minutes 32 seconds East along the east line of said Southwest Quarter of Section 1 a distance of 2,601.05 feet to the point of beginning and there terminating.

That I have made such survey and map at the direction of the City of Stevens Point. That such map is a correct representation of all the exterior boundaries of the land surveyed. That I have fully complied with the provisions of Chapter 236.34 of the Wisconsin Statutes, and local ordinances of the City of Stevens Point, in surveying and mapping the same.

Dated: _____, 2024

Patrick J. Fuehrer, PLS No. 2973

PRELIMINARY

CORPORATE OWNERS CERTIFICATE OF DEDICATION

Stevens Point, a municipal corporation duly organized and existing under and by the virtue of the laws of the state of Wisconsin, as owner, does hereby certify that said municipal corporation has caused the land described on this Certified Survey Map to be surveyed, divided, mapped, and dedicated as represented herein; and the City of Stevens Point does further certify that this certified survey map is required by s.236.10 or s.236.12 of the Wisconsin Statutes to be submitted to the City of Stevens Point for approval or objection.

In witness whereof, said City of Stevens Point has caused these presents to be signed by Mike Wiza, Mayor and Kari Yenter, City Clerk at Stevens Point, Wisconsin and its corporate seal to be hereunto affixed this ____ day of _____, 2024.

Mike Wiza
Mayor

Kari Yenter
City Clerk

STATE OF WISCONSIN)
COUNTY OF PORTAGE)ss

Personally came before me this ____ day of _____, 2024, Mike Wiza, Mayor and Kari Yenter, City Clerk of the above named municipal corporation, to me known to be the persons who executed the foregoing instrument and acknowledged that they executed the foregoing instrument as such officers, as the deed of said municipal corporation, by its authority.

Notary Public
Portage County, Wisconsin
My commission expires _____

PRELIMINARY

CITY OF STEVENS POINT COMMON COUNCIL APPROVAL

This land division is hereby approved by the City of Stevens Point Common Council as being in conformance with the City subdivision ordinances. The City of Stevens Point Common Council also hereby approves and accepts the land dedication shown thereon.

Adopted by Resolution No. _____ dated _____.

Mike Wiza
Mayor

Kari Yenter
City Clerk

Approved by the Director of Community Development,

City of Stevens Point _____
Ryan Kernosky

Date: _____.