



AGENDA
**HISTORIC PRESERVATION/
DESIGN REVIEW COMMISSION**

Members

- Chair Tim Siebert
- Vice Chair Mary McComb
- Alderperson Marc Christianson
- Joe Debauche
- Sarah Scripps
- Carol Molepske (Alternate 1)
- Peter Munck (Alternate 2)

Date and Time: December 2, 2021
5:00 PM

Location: Community Room
933 Michigan Avenue, Stevens
Point, WI

OR

Zoom Teleconferencing

Meeting ID: 882 7739 2846
| Passcode: 101333

By

Computer: <https://us02web.zoom.us/j/88277392846?pwd=VHg4L3dUK29UZjhtKzJCb3NLbUMyUT>

By Phone: +1-312-626-6799 (US
Chicago)

Opening Section:

1. Roll Call

Discussion and Possible Action on the Following:

2. Report of the October 20, 2021 meeting of the Historic Preservation / Design Review Commission.
3. A request from Bill Schierl, representing Guild Designs LLC, for a design review to construct a building addition and perform storefront improvements at 1040 Main Street (Parcel ID 281240832202923), consistent with Ch. 22.05(2).
4. Update on the facade improvement grant program.

Closing Section:

5. Adjourn

PLEASE TAKE NOTICE that any person who has special needs while attending these meetings or needs agenda materials for these meetings should contact the City Clerk as soon as possible to ensure that a reasonable accommodation can be made. The City Clerk can be reached by telephone at (715) 346-1569 or by mail at 1515 Strongs Avenue, Stevens Point, WI 54481.

Maps further defining the above area(s) may be obtained from the City of Stevens Point Department of Community Development, 1515 Strongs Avenue, Stevens Point, WI 54481, or by calling (715) 346-1567, during normal business hours.

PLEASE TAKE FURTHER NOTICE that a quorum of the Common Council may be in attendance at this meeting.

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PLEASE TAKE FURTHER NOTICE that a quorum of the Common Council may be in attendance at this meeting.

REPORT OF THE HISTORIC PRESERVATION / DESIGN REVIEW COMMISSION

October 20, 2021 – 5:00 PM
933 Michigan Ave, Stevens Point, WI 54481

PRESENT: Chairperson Siebert, Vice-Chairperson McComb, Alderperson Christianson, Commissioner Scripps, Commissioner Molespske, and Commissioner Munck.

ALSO PRESENT: Associate Planner/Zoning Administrator Kuhn, Ryan Wanta, Brian Cummings, and unidentified audience members via Virtual Zoom Meeting.

INDEX:

Opening Section:

1. Roll Call

Discussion and Possible Action on the Following:

2. Report of the September 20, 2021 meeting of the Historic Preservation / Design Review Commission.
3. A request from Ryan Wanta, representing Great Northern Distillery, for a design review to construct a principal structure at 1009 Second Street (Parcel 281240832200405) and unaddressed parcel bounded by Second Street, Third Street and Portage Street (Parcel ID 281240832200422), consistent with Ch. 22.05(2).

Closing Section:

4. Adjourn
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Opening Section:

1. Roll Call

Present: Siebert, McComb, Christianson, Scripps, Molespske, Munck

Excused: Debauche,

Discussion and Possible Action on the Following:

2. Report of the September 20, 2021 meeting of the Historic Preservation / Design Review Commission.

Motion by Commissioner Scripps to approve the report of the September 20, 2021 meeting of the Historic Preservation / Design Review Commission; seconded by Vice-Chairperson McComb.

Motion carried 5-0.

3. A request from Ryan Wanta, representing Great Northern Distillery, for a design review to construct a principal structure at 1009 Second Street (Parcel 281240832200405) and unaddressed parcel bounded by Second Street, Third Street and Portage Street (Parcel ID 281240832200422), consistent with Ch. 22.05(2).

Associate Planner/Zoning Administrator Kuhn provided a summary for a design review request to construct an approximately 8,200 square feet, two-story distillery at the noted parcels. After reviewing proposed materials to be used, the site plan layout, and building renderings, staff held no concerns and recommended approval of the request subject to the conditions outlined within the agenda packet. He noted that commissioner comments and discussion should pertain to exterior improvements and site features.

Commissioners made the following comments:

1. Appreciated the design nod to the former Belke Lumber property that was razed.
2. Inquiry as to how signage adhered to the guidelines and if there was purview over review. Staff noted that the applicant had provided some details for signage, and a condition of approval relating to signage had been included.
3. Clarification requested for the pergola type structure over the outdoor seating area, to which staff indicated that the roof of the pergola was a cross-webbing type of construction.
4. Clarification requested for repurposing salvaged materials from the former Belke Lumber building to which staff noted that materials from the former Belke building would be integrated into the interior design.
5. Clarification requested on the proposed facade lighting, and if the development would have a dark sky element. Concern made for light spillage which could be concerning for drivers. Staff pointed to the exterior lighting specifications on page 29 of the agenda packet, adding that based on the size, staff held little concern for light pollution.
6. Noted the lack of windows on the rear of the building (northern wall), which could be unsightly for surrounding residential neighbors. There was a general discussion regarding the northern wall, and suggestions of a mural or fake windows were provided.

Ryan Wanta, applicant, provided additional comments:

1. Lighting
 - a. The light fixtures would be dark sky compliant.
 - b. The west elevation signage would be back lit, there would be no direct illumination.
 - c. The pergola structure would contain puck lights for soft illumination throughout the patio area
2. Windows
 - a. The northern wall was purposefully void of windows, noting the need and requirement to install a fire rated wall for fire separation from the property to the north that was void of any openings. There was an intention to include landscaping along the northern edge of the alley, and additional green space to the northeast.
 - b. Facades more visible to other commercial and residential properties would contain more aesthetic elements.
3. The design of the structure was intended to compliment the proposed Live/Work development to the south.

Brian Cummings, founder of Great Northern Distilling, noted concern for requiring windows, even if fake, on the northern wall. He explained that they didn't want to install anything illusionary or create false historical elements.

Motion by Commissioner Scripps to approve the request from Ryan Wanta, representing Great Northern Distillery, for a design review to construct a principal structure at 1009 Second Street (Parcel 281240832200405) and unaddressed parcel bounded by Second Street, Third Street and Portage Street (Parcel ID 281240832200422), consistent with Ch. 22.05(2) with the following:

- 1. The applicant shall select paint colors from the Commission's approved color palettes (Sherwin Williams, Benjamin Moore and Valspar) to be used in painting masonry walls. Selected paint colors shall be reviewed and approved by Community Development staff.**
- 2. Masonry used to create the trash enclosure shall be painted with a color that is compatible with the proposed structure, subject to the review and approval of Community Development staff.**
- 3. A building permit shall be obtained prior to the start of construction.**
- 4. Staff shall have the ability to approve minor changes to the site plan, building design and materials.**

seconded by Alderperson Christianson.

Motion carried 5-0.

Closing Section:

4. Adjourn.

Motion by Vice-Chairperson McComb to adjourn; seconded by Commissioner Scripps.

Motion carried 5-0, meeting adjourned at 5:22 PM.

A recording of this meeting can be viewed/heard at: <https://stevenspoint.com/365/AgendasMinutesVideos>

Administrative Staff Report



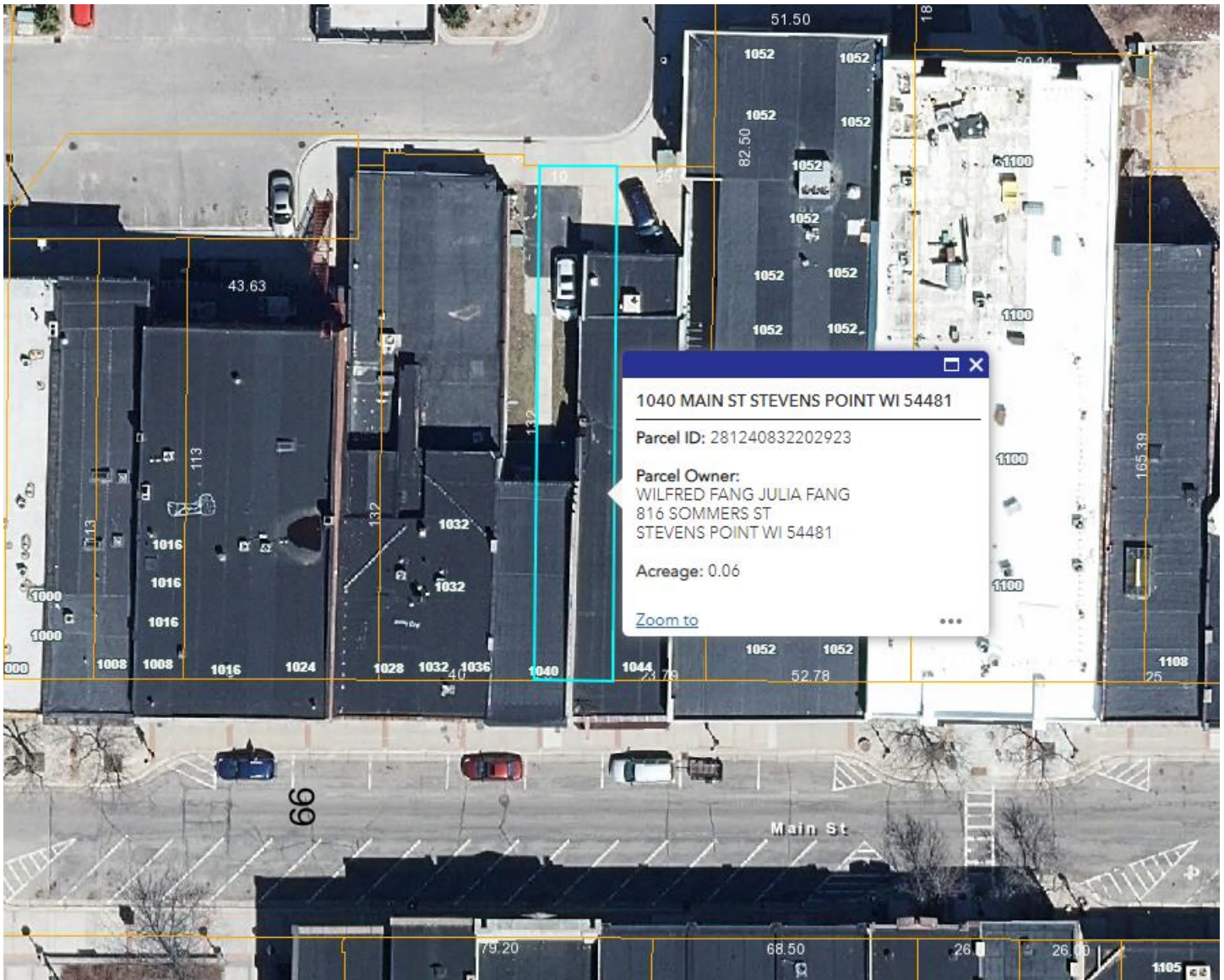
Design Review
1040 Main Street
December 2, 2021

Department of Community Development
1515 Strongs Avenue, Stevens Point, WI
54481
Ph: (715) 346-1568 - Fax: (715) 346-1498

Applicant(s): • Bill Schierl, representing Guild Designs, LLC Staff: • Adam Kuhn, Associate Planner akuhn@stevenspoint.com Parcel Number(s): • 281240832202923 Zone(s): • "B-3" Central Business District Council District: • District 1 – Ald. Christianson Lot Information: • Actual Frontage: 20 feet • Effective Depth: 132 feet • Square Footage: 2,640 • Acreage: 0.061 Structure Information: • Built in 1879 (142 years old) Current Use: • Mixed-use retail and residential Applicable Regulations: • Chapter 22 • Downtown Design Guidelines	Request A request from Bill Schierl, representing Guild Designs, LLC, for a design review to construct a building addition and perform storefront improvements at 1040 Main Street (Parcel ID 281240832202923), consistent with Ch. 22.05(2) Attachment(s) 1. Application 2. Renderings and plans City Official Design Review / Historic District 1. Mathias Mitchell Public Square Historic District Staff Recommendation Approve the design review to construct a building addition and perform storefront improvements at 1040 Main Street (Parcel ID 281240832202923), subject to the following conditions: 1. The proposed windows shall be properly installed by installing caulking and weather stripping to ensure that the window units are weather tight. 2. Prior to removing paint from masonry, the applicant shall submit final details as to how the paint will be removed subject to the masonry guidelines outlined in Sec. 3.2.2(6) & (7) of the Stevens Point Historic Design Guidelines. 3. The applicant shall submit final details on landscaping that will be included in the rear of the property, subject to the review and approval of Community Development staff meeting applicable Design Guideline and Zoning Code requirements. 4. After obtaining approval for State and Federal Historic Tax Credits, the applicant shall transmit any requested modifications from the Wisconsin Historical Society and the National Parks Service for review and compliance with the City's Historic Design Guidelines. 5. Where masonry repairs are needed, the applicant shall abide by the tuckpointing requirements as outlined in Sec. 3.2.2(8) of the Stevens Point Historic Design Guidelines. 6. A building permit shall be obtained prior to the start of construction.
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7. The applicant shall obtain approvals from the Director of Public Works prior to utilizing public sidewalks during construction.
8. Staff shall have the ability to approve minor changes to the site plan, building design and materials.

Vicinity Map



Scope of Work

Overview: The applicant is requesting a design review to perform exterior alterations to the south facing wall of the structure, along with constructing a 446 sq ft addition to the rear of the building. Built in 1879, the historic building has historically been utilized as a retail establishment housing former uses such as Krutza’s Tailor Shop and The Smart Shop. With brick encompassing the wall material of the historic building, it accents the Italianate architecture that was common for newly constructed buildings during the late 1800s. For reference, key elements of Italianate architecture that is visually evident on the subject structure include the following:

- Flat roofs

- Projecting eaves that are supported by corbels
- Cornices along the roof line and above the second-floor windows
- Tall first-floor windows

While the masonry accents the windows on the second floor, the Wisconsin Historical Society notes that the brick was subsequently painted white and lessened the impact of an Italianate design. Likewise, while the three second-story windows include arches above each window and a corbelled cornice, the masonry being painted over limits these detailed design elements. While the exact date is not known, historic photos of the property show that the building's storefront has been remodeled and changed significantly. A 1908 photo showing the original storefront design is shown below and is discussed in greater detail. Located within the Mathias Mitchell Public Square Historic District, the historic structure was added to the State Register of Historic Places on January 1, 1986, and the National Register of Historic Places on August 13, 1986.

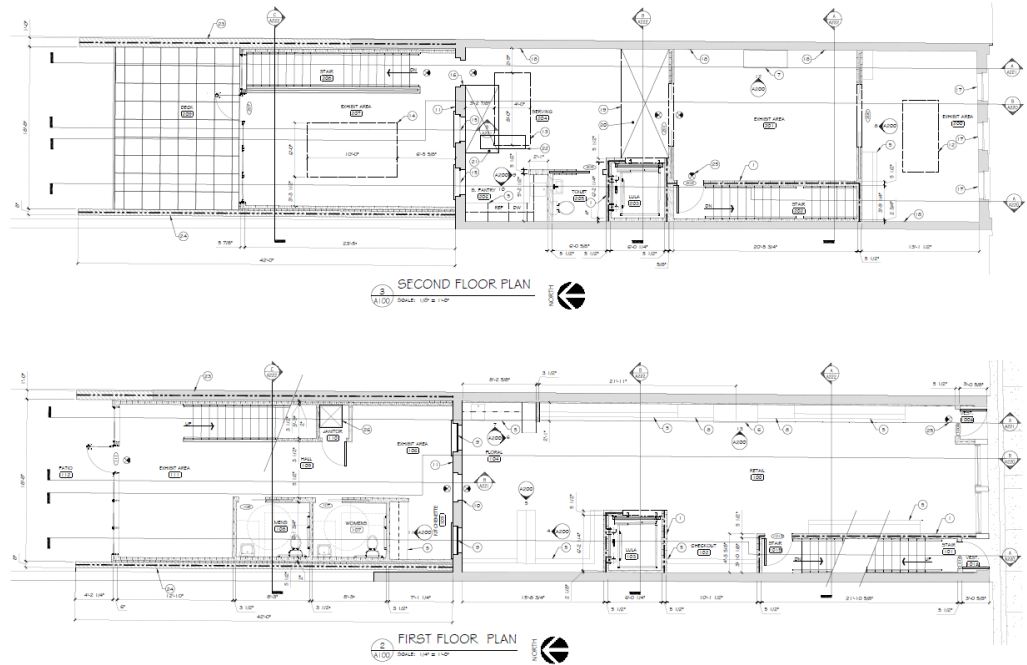
Storefront Alterations: The existing storefront of the building includes one door located roughly eight feet in from the side lot lines and roughly four feet in from the public sidewalk. With the door offset from the sidewalk, the two storefront windows on both sides of the door are curved to create a vestibule-type area before entering the building. An awning exists above the storefront windows and was subsequently replaced in 2018 (via an approved design review and façade grant contract).

As stated above, the current configuration of the building's storefront does not match the original design from the 1880s. An image of the historic structure, taken in 1908, is shown here and shows some stark differences. For example, two storefront doors used to exist near the east and west property lines. Steps are shown next to both doors and are located within the public sidewalk. Smaller accent windows were located above these two doors. With the doors located near the east and west common walls, larger storefront windows are located in between both doors. The second-floor windows, cornices above these windows, and the projecting eaves and corbels appear identical now as what was in the 1908 photograph.

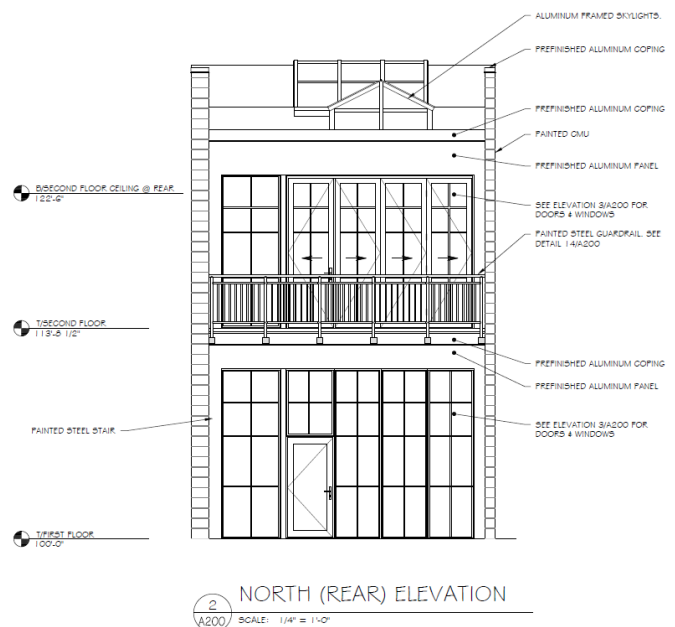
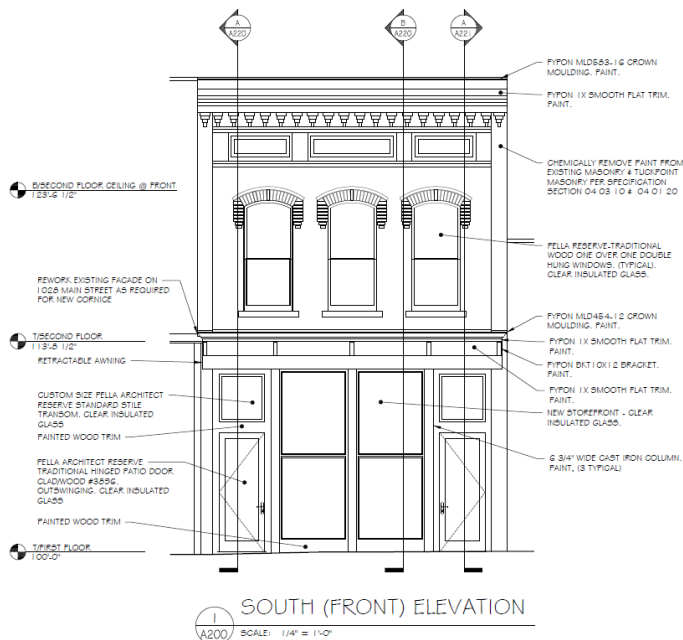
The applicant is requesting several improvements to restore the current storefront configuration to what existed at the time the building was constructed. The existing storefront door is proposed to be removed and two storefront doors would be added at its original location. Transom windows would be located above both doors, along with a new storefront window located between both doors and separated by muntins. Wood trim would encapsulate the remainder of the first-floor storefront space that will be painted. As a condition onto this request, the applicant will need to submit final details on the paint color and meet painting guidelines as discussed below. The south facing wall will experience lesser improvements on the second floor. The existing façade is proposed to be reworked solely above the transom windows to accommodate a new cornice. Additionally, the applicant is requesting to remove paint from the masonry and perform tuckpointing where needed.



Building Addition: The applicant is requesting to construct a 446 sq ft addition onto the rear of the building. While historic photos show that the existing dimensions of the building match the building's dimensions at its construction, the Historic Preservation / Design Review Commission provides clear guidance as to how additions on historic structures are designed. These requirements are described in greater detail below.



The proposed north facing wall would include bricks along the east and west common walls that match the size and scale of the existing masonry blocks on the building's south facing wall. While bricks represent a small component of the north facing wall, other building materials are proposed. One door is proposed on both the first and second floors, with large storefront windows surrounding the doors and aluminum panels separating the masonry and storefront windows. Muntins are included among the first and second floor windows to provide contrast to the storefront window pattern along Main Street. Steel guardrails are proposed adjacent to the second-floor windows to act as an outdoor patio area. Lastly, the applicant is requesting that aluminum framed skylights are included as part of the roof design for the addition. Further details on this proposed improvement are discussed below.



While the proposed building would be roughly 52 feet away from the public sidewalk in the rear of the property, the applicant is requesting to construct a deck at grade and associated landscaping to create a public Italianate garden that was customary with Italianate architecture during the late 1800s.

For building additions within the Mathias Mitchell Public Square Historic District, it is subject to both a historic and zoning review for compliance with their respective ordinances. While the City's Zoning Code provides lot size requirements as a measure to regulate density by land uses in zoning district, the subject property does not currently meet the minimum lot size required. With that said, the Zoning Code provides a clear exception that says that lots created prior to the effective date of the Zoning Code (i.e., February 23, 1979) that do not meet minimum density requirements for their respective zoning classification, it is nonetheless allowed to operate and construct for single-family residential uses and non-dwelling uses that are permitted in the zoning district. As the subject property was created well before 1979, it is subject to this exception as shown below.

Ch. 23.01(18)

Where a lot of record at the effective date of this ordinance, or a lot in a subdivision which the Common Council has officially approved and agreed to accept at the time of the effective date of this ordinance, has less area or width than herein required in the district in which it is located, said lot may nonetheless be used for a one-family dwelling or for any other non-dwelling use permitted in the district in which it is located.

Along with requesting a design review from this Commission, the applicant has submitted the proposed improvements to the Wisconsin Historical Society and the National Parks Service for seeking state and federal tax credits. According to the Commission's Historic Design Guidelines, the proposed improvements represent a 'major work' and requires the review and approval of the Historic Preservation / Design Review Commission. Said requirement is outlined below.

Sec. 7.4 Major and Minor Works

1. Major Works (HP/DRC Approval)

- (a) New construction or additions to primary building*
- (b) Exterior alterations to principal elevations of buildings*

Chapter 22 of the Revised Municipal Code of the City of Stevens Point further provides design review requirements for certain types of improvements requested within a designed historic district, design review district or an approval local landmark. This requirement is discussed further in the following section.

CHAPTER 22: HISTORIC PRESERVATION

Division 5.02 *Regulation of Construction, Reconstruction, Alteration, and Demolition*

No owner or person in charge of a historic structure or historic site, or property located within a historic district shall reconstruct, alter, or demolish all or any part of the exterior of such property or construct any improvement upon such designated property or properties or cause or permit any such work to be performed upon such property or demolish such property unless approval has been granted by the commission.

Upon the filing of any request for a design review certificate with the commission, the commission shall review the request in accordance with the design guidelines. If the commission determines that the application for a design review certificate and the proposed changes are consistent with the design guidelines, it shall issue the design review certificate. Upon the issuance of such certificate, any other required permits shall be obtained.

Guidelines of Review (numbers below pertain to the pertinent guideline standards)

***Other standards within the design guidelines not specifically mentioned below have been reviewed and are met or not applicable pertaining to the proposed building improvement activities.

ADDITIONS (Sec. 5.3)

1. **Additions should be located to the rear or non-character defining elevation. With historic residential structures, additions should be placed in a manner that they are not clearly seen from the public right-of-way. Landscaping can often be used to minimize the visual impact that additions may have to the historic structure.**

Analysis: The proposed addition would be located on the rear of the building. The rear of the property is visible by way of a public parking lot owned by the City's Redevelopment Authority.

Findings: The proposed addition would not alter the character-defining features located on the front-facing wall of the building (off of Main Street). While the proposed addition is visible to the public, it is important to note that the parking lot behind the subject property is not public right-of-way and is owned by the City's Redevelopment Authority for parking. Additionally, with landscaping planned create a public garden in the rear of the property, staff believes that these landscaping elements will assist in minimizing the visual impacts of the addition.

2. **New additions should not remove, damage, or obscure character-defining architectural features.**

Analysis: The north-facing wall consists of brick that is painted differently from the south-facing wall and is of a different pattern. One service door exists on the first floor to provide rear access into the building.

Findings: Customary with other historic buildings along Main Street, the rear of the building generally has significantly less character-defining architectural features as what the storefront wall. With the restorative actions that are planned by the applicant, staff believes that the proposed design would add architectural design and better complement the front-facing wall of the structure.

3. **Additions should be compatible in materials, design, roof form, and proportion to the main structure. However, new additions should be constructed at a scale smaller than the historic structure so as not to overpower the existing historic building.**

Analysis: The proposed building materials for the north-facing wall (i.e., brick, glass, aluminum and wood) would be consistent with the building materials that currently exist on the south-facing wall.

Findings: In reviewing the design request, it is important that the proposed addition complements, but not overpower, the existing



building. While more storefront windows are planned for the rear of the structure, there are other architectural amenities that exist solely for the front-facing wall (e.g., cornices, projecting eaves and the awning). Therefore, staff believes that the proposed addition would not overpower the existing make and configuration of the historic structure.

4. **Additions, like new construction, are representative of the time in which they are built. Therefore, contemporary designs are permitted, but should always be compatible with the existing historic structure.**

Analysis: As stated above, key elements of Italianate architecture are tall storefront windows. Gardens associated with Italianate architecture is consistent with having a more symmetrical garden, filled with landscaping and fixed objects (e.g., seating, statues, etc.). Additionally, most gardens were encapsulated with hedging or fencing to enclose the area.

Findings: Based on the design elements proposed by the applicant, staff believes that the rear wall complements Italianate architecture common with buildings of the late 1800s. For the proposed garden, six-foot high galvanized picket fencing is proposed to enclose the garden from the adjacent sidewalk.

5. **An addition should never mimic or recreate the architecture of the primary historic structure.**

Analysis: While the proposed addition complements the existing building, there are clear differences that differentiate the addition from the historic structure. For example, both stories of windows on the rear wall is of a different size as the storefront windows off of Main Street. Likewise, the muntin pattern as proposed for the window off of Main Street is different for the proposed rear wall. Additionally, while masonry is part of the building materials that is proposed for the addition, the rear wall uses a greater proportion of glass and aluminum. To the contrary, the front-facing wall off of Main Street consists primarily of glass, masonry and to a lesser extent wood trim.

Findings: Staff believes that this standard is met.

6. **Additions to historic structures should be clearly identifiable as such. Additions should be set back and constructed at a smaller scale than the original building. Architectural details should complement the main structure but should be clearly differentiated.**

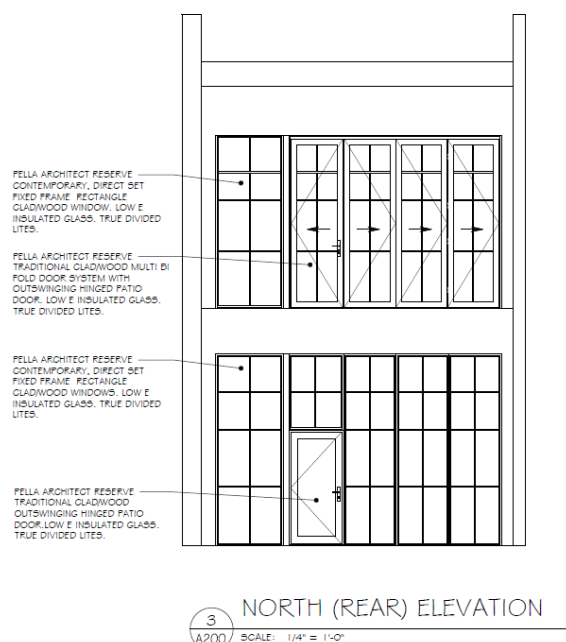
Analysis: With different building materials taking greater prominence on the proposed rear wall, staff believes that this element along will show that it is clearly identifiable as being new.

Findings: Staff believes that this standard is met.

WINDOWS & DOORS (Sec. 3.4)

1. **Retain and preserve historic windows and doors. All elements associated with historic windows and doors should be retained and preserved including frames, trim, sashes, muntins, glass, lintels, shutters, and hardware.**

Analysis: As mentioned earlier, the original configuration of the storefront doors and



windows off of Main Street differ from the building's original design (see the 1908 photograph above). As the existing windows and doors are original to the building, staff believes that the proposed improvements would not eliminate any historic windows and doors of the structure.

Findings: This standard is met.

- 11. Introduction of new window and door openings into the principal elevations of a structure is not recommended. If permitted, new openings should be proportionally the same as existing openings and should have matching sash, glass, sills, frames, casings, and muntin patterns.**

Analysis: New window and door openings are proposed on the south-facing wall of the historic structure.

Findings: The proposed doors and windows would be of the same size and include matching frames and muntin patterns.

ROOFS (Sec. 3.5)

- 5. Changing the historic character of the building by adding roof elements that are not historically accurate such as dormer windows, vents, or skylights is not recommended.**

Analysis: Skylights are proposed as part of the building addition.

Findings: As addressed above, skylights are generally not historically accurate to buildings constructed during the late 1880s and is evident by other structures building around the same time in Stevens Point. With that said, it is likely that most of the skylights will not be visible from the street due to the height of the structure. Therefore, staff will be taking a neutral stance as to if skylights should be incorporated as part of the roof design. If the Commission is supportive of having skylights, staff would recommend that the skylights are small, rectangular and as flat as possible. Bubble or tented skylights should be prohibited.



STOREFRONTS (Sec. 3.7)

- 5. If reconstructing a historic storefront, base the design on historic research, physical evidence, and photographic documentation, if available. Recreate the original architectural elements including overall proportions, fenestration, dimensions, and orientation.**

Analysis: The 1908 photograph above shows that the current design of the storefront is different from what exists currently. This photograph is supported by the fact that the Wisconsin Historical Society states that the building's storefront is not representative of its original design.

Findings: The applicant's proposed storefront design would be recreated based off of its original design. Staff believes that the proposed design elements meet the original design provided that the conditions applied to this request are applied.

- 6. Altering the entrance, including its location, through a significant storefront is not recommended. Changing a storefront so that it appears as an office or residential use other than commercial is not recommended.**

Analysis: The one storefront door that exists off of Main Street is located in a different location than where the two proposed doors would be located.

Findings: In recreating the original storefront design of the building, altering the storefront entrance is required. Since this is a restorative action to recreate the original design of the storefront, staff believes that this standard is met.

REAR ELEVATIONS (Sec. 3.9)

2. Historic structures that are adjacent to rear parking areas or public rights-of-way are encouraged to utilize rear entrances allowing public and private access. If the rear entrance is public, awnings and other exterior features should be more subdued than those of the primary elevation.

Analysis: The proposed building addition is adjacent to a parking area owned by the City's Redevelopment Authority.

Findings: Entrance into the building's addition would be from the rear of the property. Exterior features, such as fencing and landscaping, is proposed to complement the architecture of the addition.

PAINT (Sec. 3.11)

2. No more than three of the approved colors for the body, trim, and accent color are recommended. Both the trim and accent color should complement the body color.

Analysis: As a condition onto this request, the applicant shall submit final paint colors on all portions of the building's north and south wall that is planned to be painted.

Findings: This standard is met.

Site Images







HISTORIC PRESERVATION/ DESIGN REVIEW COMMISSION

City of Stevens Point
Community Development Department

1515 Strongs Avenue, Stevens Point, WI 54481
P: (715) 346-1567 F: (715) 346-1498
communitydevelopment@stevenspoint.com
<http://stevenspoint.com>

APPLICATION FOR DESIGN REVIEW

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted		Assigned Case Manager	
Associated Permits or Applications (if any)				Pre-Application Conference Date	
Decision		Date Reviewed		Staff Signature	
Notes:					

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? ☐)	
Applicant Name	Guild Designs LLC	Contact Name	William G Schierl
Address	109 County Rd E S	Address	109 County Rd E S
City, State, Zip	Stevens Point, WI 54481	City, State, Zip	Stevens Point, WI 54481
Telephone	715-345-5033	Telephone	715-345-5033
Fax		Fax	
Email	bills@teamschierl.com	Email	bills@teamschierl.com

OWNERSHIP INFORMATION

PROPERTY OWNER OF RECORD 1 INFORMATION (Same as Applicant? ☐)		PROPERTY OWNER OF RECORD 2 INFORMATION (If Needed)	
Owner's Name	Guild Designs LLC	Owner's Name	
Address	109 County Rd E S	Address	
City, State, Zip	Stevens Point, WI 54481	City, State, Zip	
Telephone	715-345-5033	Telephone	
Fax		Fax	
Email	bills@teamschierl.com	Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
Legal Description of Subject Property		
Area of Subject Property (Acres/Sq Ft)		Area of Building or Structure (Sq Ft)

Current Zoning District(s)		Current Historic District(s) - Local, State, National	
Designated Future Land Use Category	Current Use of Property	Proposed Use of Property	
	Commerical	Commerical	
Briefly describe the proposed building, structure construction, reconstruction or exterior alteration. Please also provide rationale for the design review request, along with the time schedule (if any) for the project. (Use additional pages if necessary)			
Rehabilitating historical elements of Main Street exterior including but not limited to, removal of paint on original brick, brick and mortar repairs/tuckpointing, facade resconstruction, window replacement and new construction addition to the north. Rehabilitation will increase the commercial value and use of the building while enhancing Main Street historic charm. New addition to the north will increase commercial value and provide unquie architecture to the area. The time line for construction will be early 2022 with completion by spring of 2022.			
Will the proposed work detrimentally change, destroy or adversely affect any exterior architectural features of the improvement upon which said work is to be done? Explain you answer.			
The proposed work will not detrimentally change or adversely affect any exterior architectural features but improve and return the Main Street facade to be reflective of original design based on photography history. Proposed work is completed in partnership with architects and designers with specific training in historical preservation. Rehabilitation and new construction will seek to compliment historical elements and architectural features while to the north provide a unique and fresh facade to the the back of Main Street.			
Does the proposed work match and harmonize with the external appearance of adjacent neighboring improvements. Explain your answer.			
All proposed work will be completed within historical rehabilitation guidelines and regulations. Thus, the work will be in harmony with adjacent neighboring improvements of Main Street.			
Does the proposed work conform to the objectives of the historic preservation plan for said district (if any)? Explain you answer.			
All proposed work is created and designed by architects that specialize in historical preservation. Proposed work will be submitted and approved by the Wisconsin Historical Society's State Historic Preservation Office.			
Does the proposed work conform with the architectural design guidelines with emphasis on contextual issues including compatibility of size, volume proportions, rhythm, materials, detailing, colors, and expressiveness? (Historic Design Guidelines can be found at www.stevenspoint.com) Explain you answer.			
All proposed work is created and designed by architects that specialize in historical preservation. Proposed work will be submitted and approved by the Wisconsin Historical Society's State Historic Preservation Office.			

EXHIBITS

Letter to District Alderperson (www.stevenspoint.com/Directory)	☐	Additional Exhibits If Any (List):
Photographs of Building or Structure	☐	
Renderings or Elevations	☐	
Site Plan (for additions, and new construction)	☐	

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner(s)	Date

November 5, 2021

Greetings Alder Marc Christianson,

We wanted to reach out to inform you of our plans for restoring the historical building at 1040 Main Street, currently operating as Ideal Frame, as we submit our plans to the Historical Preservation & Design Commission.

As we plan to take ownership in late 2021, our restoration and renovations will begin shortly thereafter. These plans will include but are not limited to, removal of paint on original brick, brick and mortar repairs/tuckpointing. Rebuilding the storefront inspired by a 1908 photograph from the Portage County Historical Society along with an addition to the north. Replacing exterior doors and windows. This will all be a means to open the doors to be a place for merchants and artisans.

Please know that this proposed work will not detrimentally change or adversely affect any exterior architectural features. Our restorations and renovations are created and designed by architects that specialize in historical preservation. The proposed work has been submitted for Historical Tax Credit approval at both the State and Federal level.

We look forward to working with you and refreshing another piece of our local architectural history for public enjoyment.

Sincerely,

A handwritten signature in cursive script that reads "Bill & Sarena".

Bill Schierl & Sarena Melotte

Guild Designs, LLC
109 County Rd E S
Stevens Point, WI 54481



1. 35' 1/4" HALL PARTITION PER DETAIL PP2A42-40. G/F. NO. W/
2. INFILL EXISTING WALL OPENING WITH 12" CMU. INSTALL WATERPROOFING ON EXTERIOR SIDE.
3. NEW CONCRETE SLAB.
4. NEW COLUMNS AND CONCRETE FOOTINGS, SUPPORT STRUCTURE AS REQUIRED.
5. BUILT IN CABINETRY.
6. FLOOR 539 WINDSOR ARCH FIREFLACE.
7. 539-538 PRESERVE EXISTING FIREFLACE.
8. 18" X 1/4" X 48" BENCH.
9. INSTALL NEW WOOD WINDOWS IN EXISTING OPENING, MILLED TO MATCH EXISTING WOOD WINDOW TRIM ON SECOND FLOOR. INSTALL NEW WOOD TRIM TO MATCH EXISTING WINDOW TRIM ON SECOND FLOOR. PAINT. SEE SPECIFICATION SECTIONS 09 03 52 HISTORIC TREATMENT OF WOOD WINDOWS, 09 03 12 HISTORIC WOOD REPAIR AND 09 03 91 HISTORIC TREATMENT OF PLANT PAINTING.
10. INSTALL NEW WOOD TRIM AT EXISTING DOOR OPENING TO MATCH DOOR TRIM ON EXISTING DOOR AT SECOND FLOOR. PAINT. SEE SPECIFICATION SECTIONS 09 03 12 HISTORIC WOOD REPAIR AND 09 03 91 HISTORIC TREATMENT OF PLANT PAINTING.
11. CHEMICALLY REMOVE PAINT FROM EXISTING MASONRY & TUCKPOINT MASONRY. SEE SPECIFICATION SECTION 09 02 12 HISTORIC TREATMENT OF WOOD. 4X6" GABLE END RIDGE SKYLIGHT ABOVE, CENTER IN ROOM.
12. 4X6" GABLE END RIDGE SKYLIGHT ABOVE.
13. 6X10" GABLE END SKYLIGHT ABOVE.
14. EXISTING WOOD WINDOWS TO REMAIN, REGRAZE AS REQUIRED, REMOVE SECURITY BARS, PATCH AND PAINT WINDOWS AND TRIM, SEE SPECIFICATION SECTION 09 03 12 HISTORIC WOOD REPAIR AND 09 03 91 HISTORIC TREATMENT OF PLANT PAINTING.
15. EXISTING DOOR TRIM TO REMAIN, PATCH AND PAINT. SEE SPECIFICATION SECTIONS 09 03 12 HISTORIC WOOD REPAIR AND 09 03 91 HISTORIC TREATMENT OF PLANT PAINTING.
16. INSTALL PLATE RESERV-TRADITIONAL CLAD WOOD ONE OVER ONE OVER EXISTING WINDOWS. INSTALL MESSING WOOD TRIM MILLED TO MATCH EXISTING WINDOW TRIM ON SECOND FLOOR. PAINT.
17. EXISTING FINISHES WHERE EXISTING PARTITIONS WERE REMOVED.
18. FLOOR CEILING FINISH IN THIS AREA TO MATCH EXISTING CEILING HEIGHT.
19. INSTALL STRUCTURE WHERE STAIR WAS REMOVED.
20. NEW DOOR SERVING STAIR.
21. 12" CMU WALL 2 HOUR RATED PER DETAIL PP2A42-40, UL DES U905.
22. 8" CMU WALL 2 HOUR RATED PER DETAIL PP2A42-40, UL DES U905.
23. NEW DOOR, LIGHT, TYPICAL.
24. MOCK SINK.

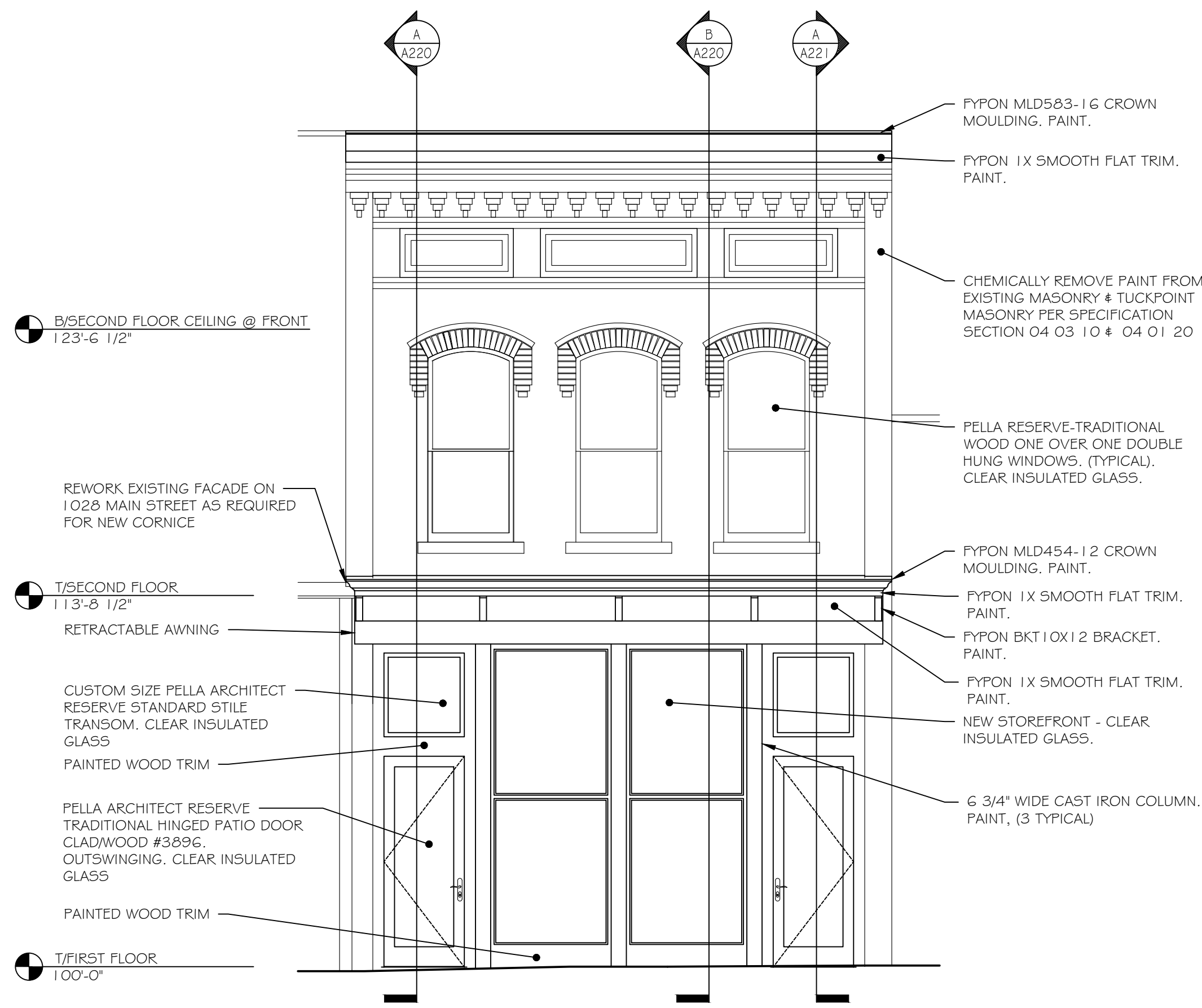
A100
4 *OF* 10

REVISIONS:		
NO.	DESCRIPTION	DATE

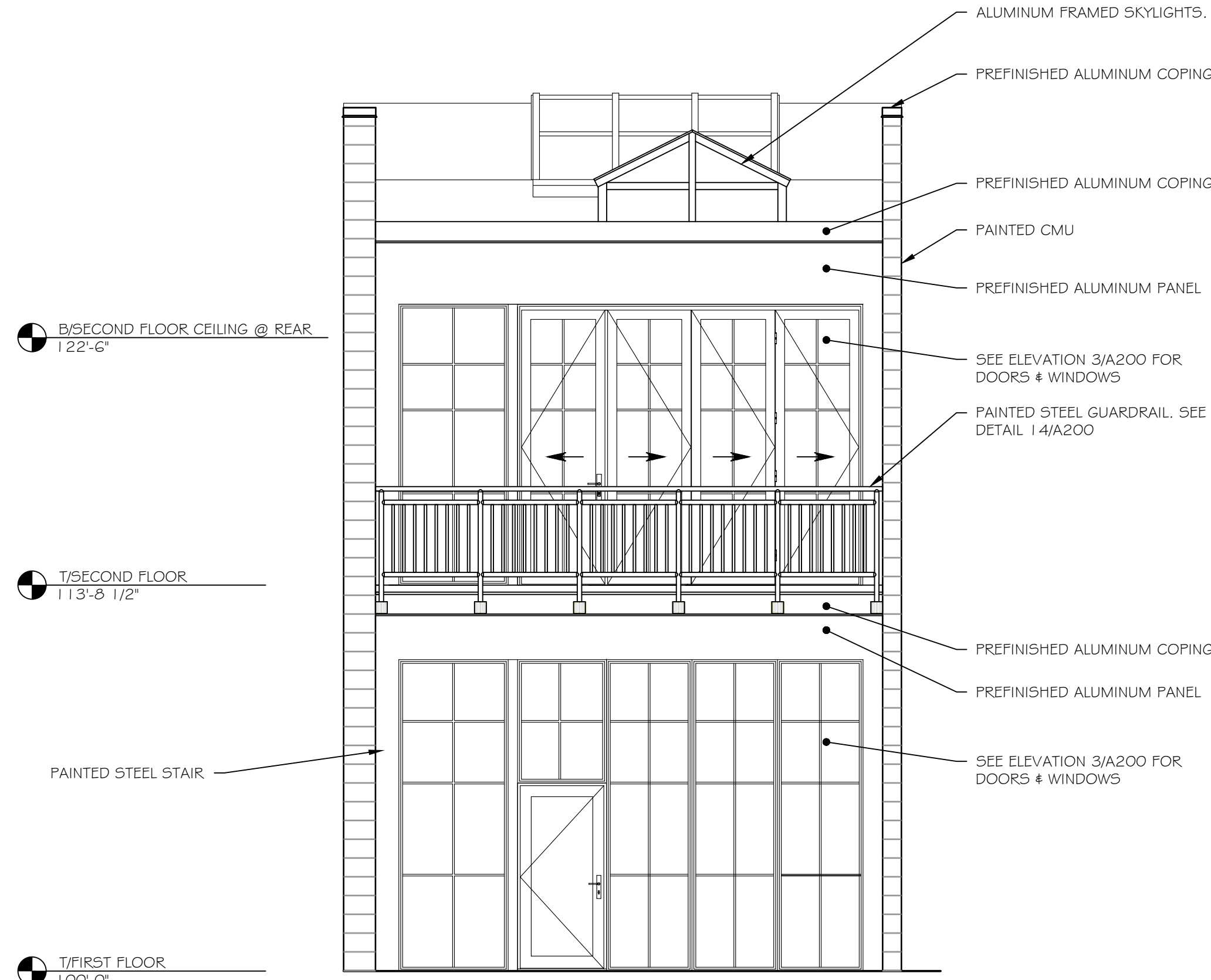
Funktion
Design Studio
207 Windtree Drive
Wausau, WI 54401

WETS

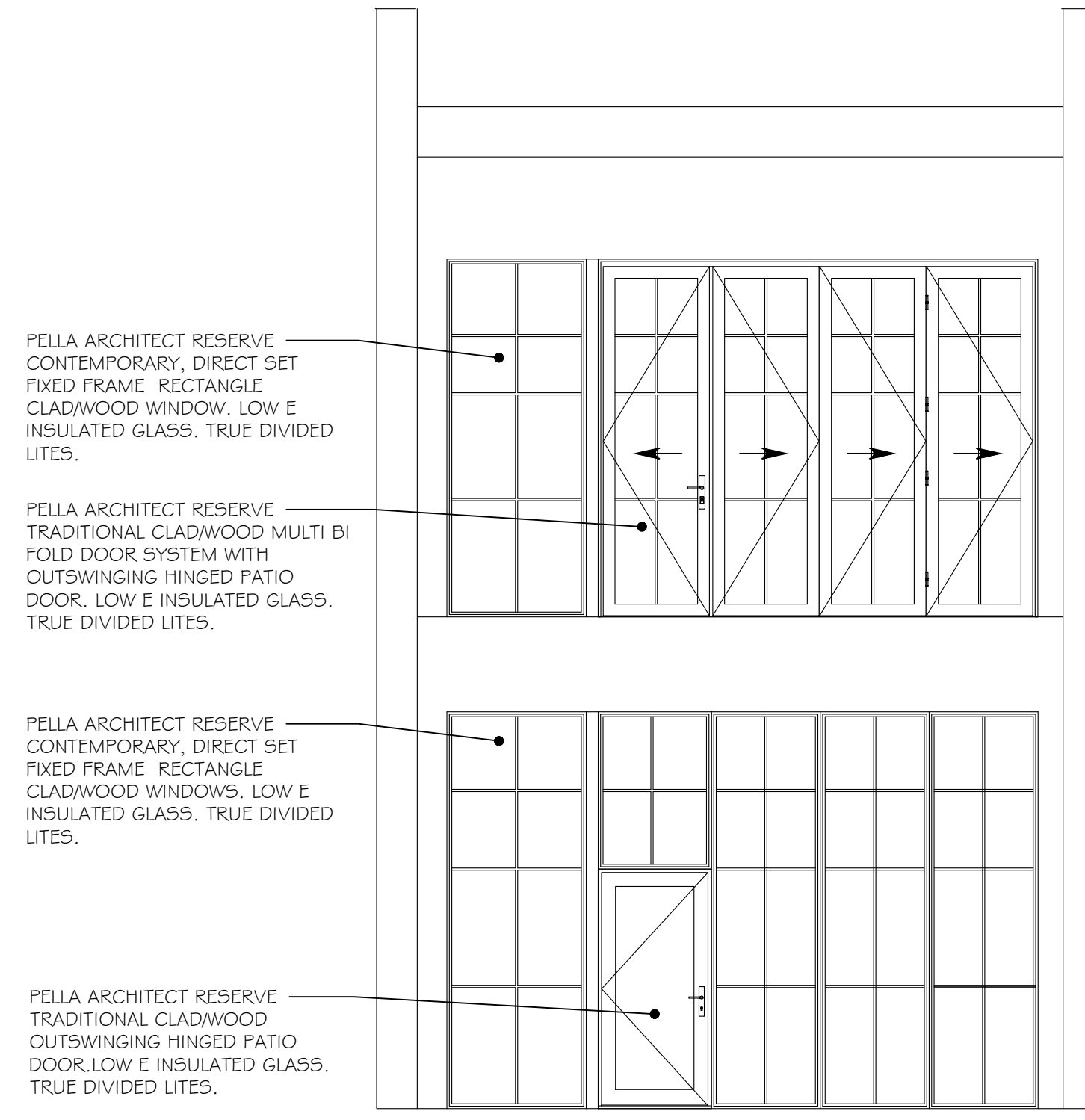
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PROJECT: 1040 MAIN STREET
SHEET: 1 OF 10
DATE: 1/11/2021
TIME: 3:30 PM
DRAWN BY: RLS
CHECKED BY: MRH
DATE: 1/11/2021
TIME: 3:30 PM
DRAWING NAME: A200
PROJECT: 1040 MAIN STREET
SHEET: 1 OF 10



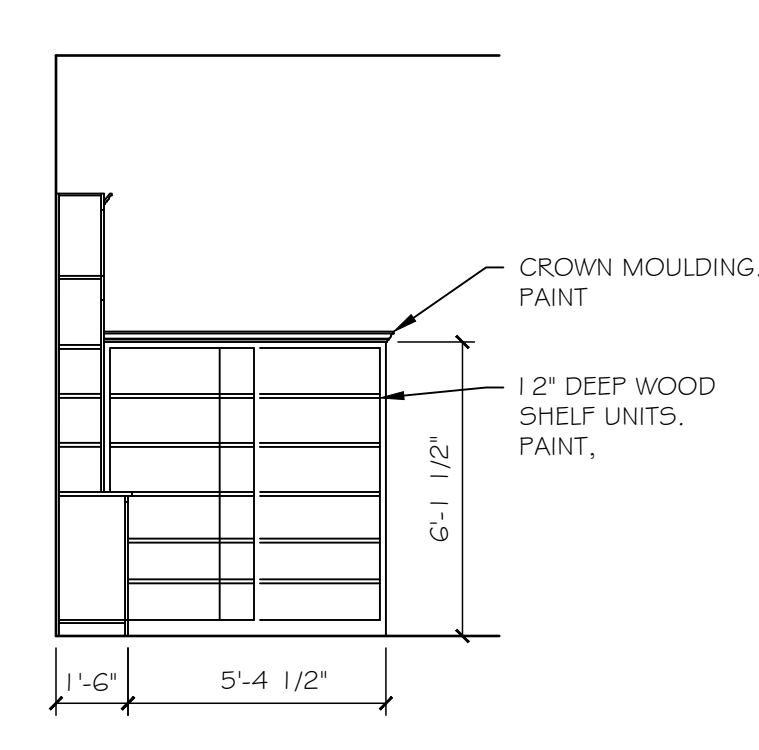
1 SOUTH (FRONT) ELEVATION
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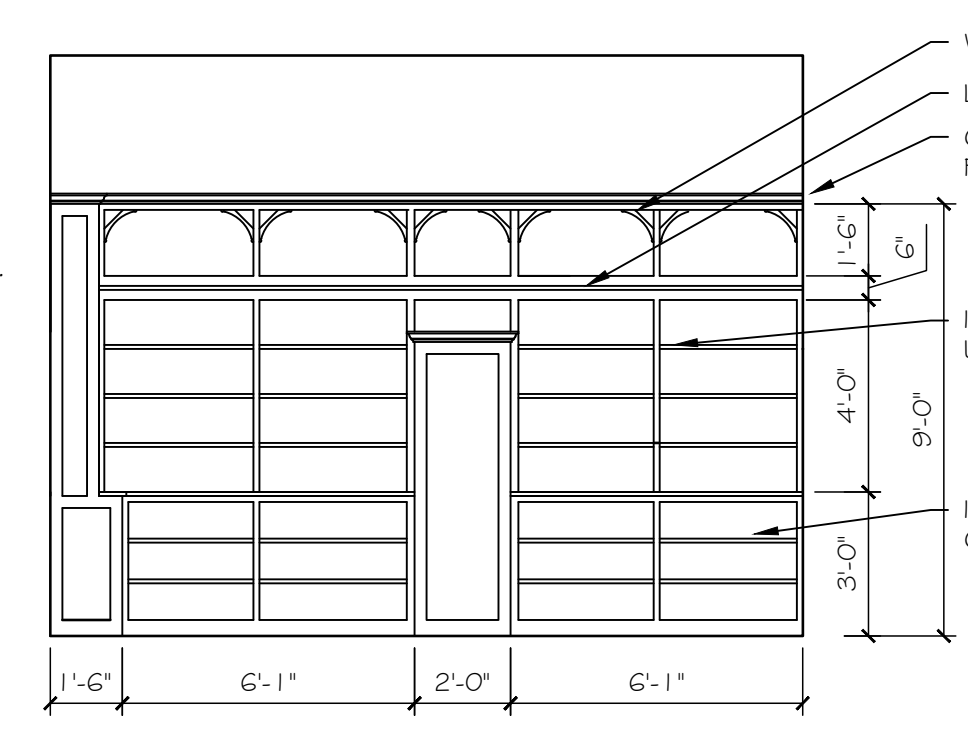
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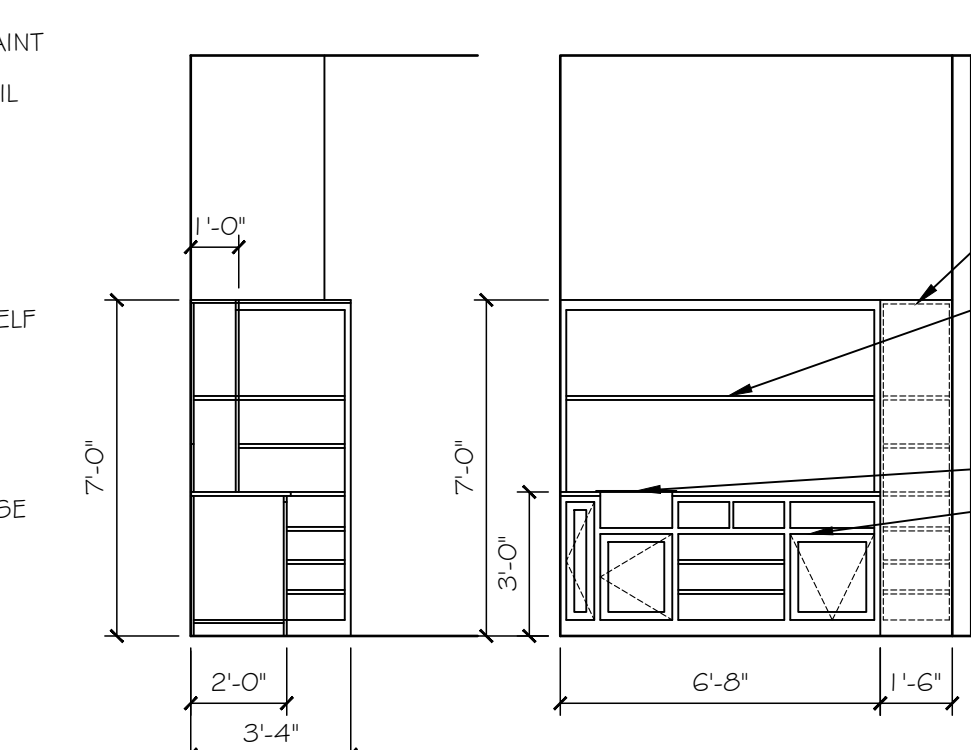
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SCALE: 1/4" = 1'-0"



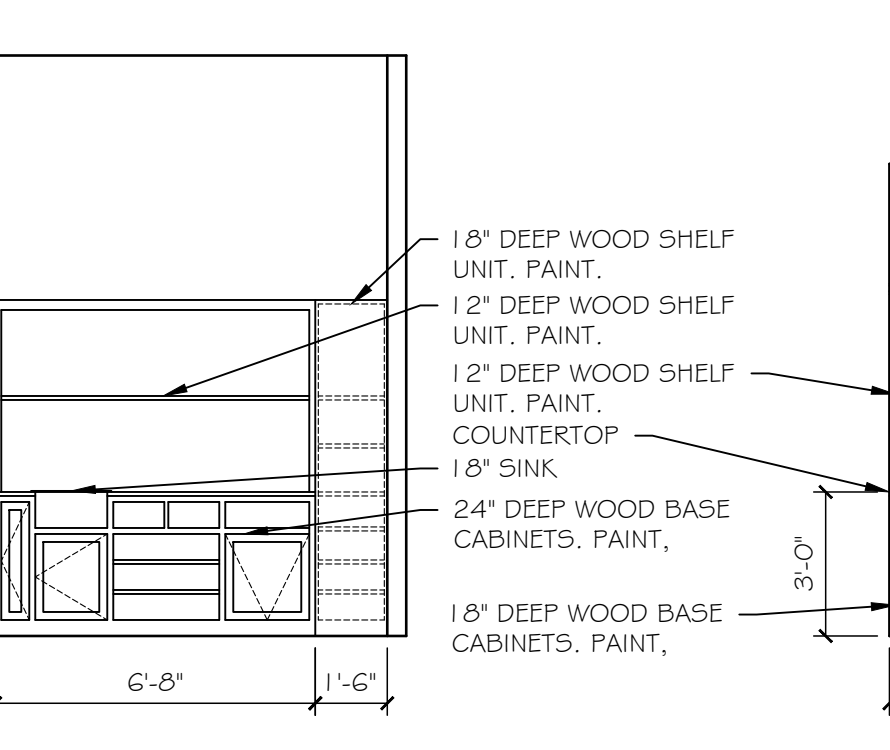
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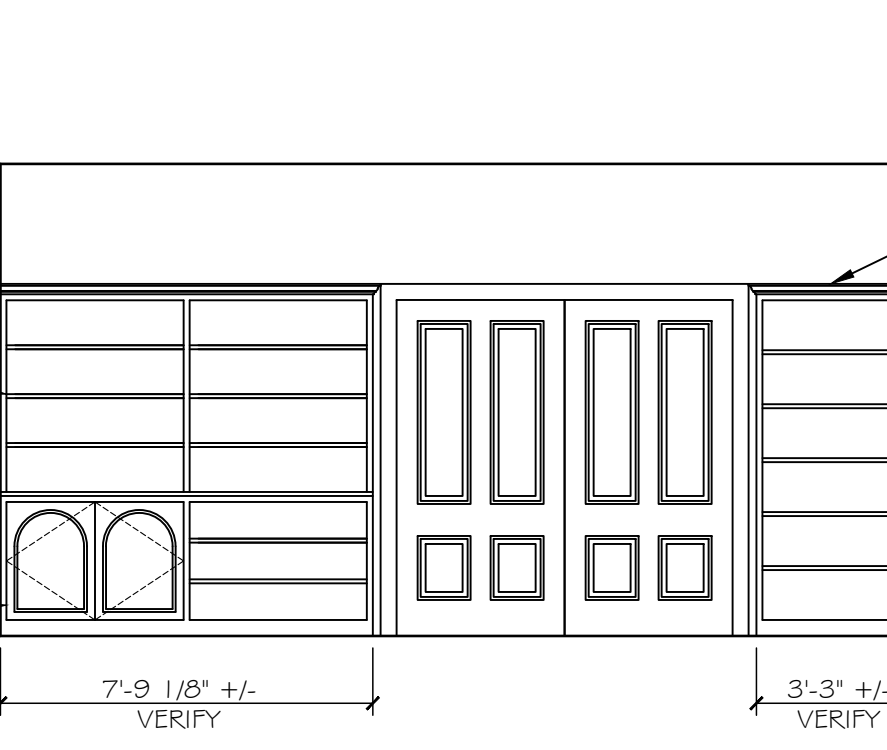
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SCALE: 1/4" = 1'-0"



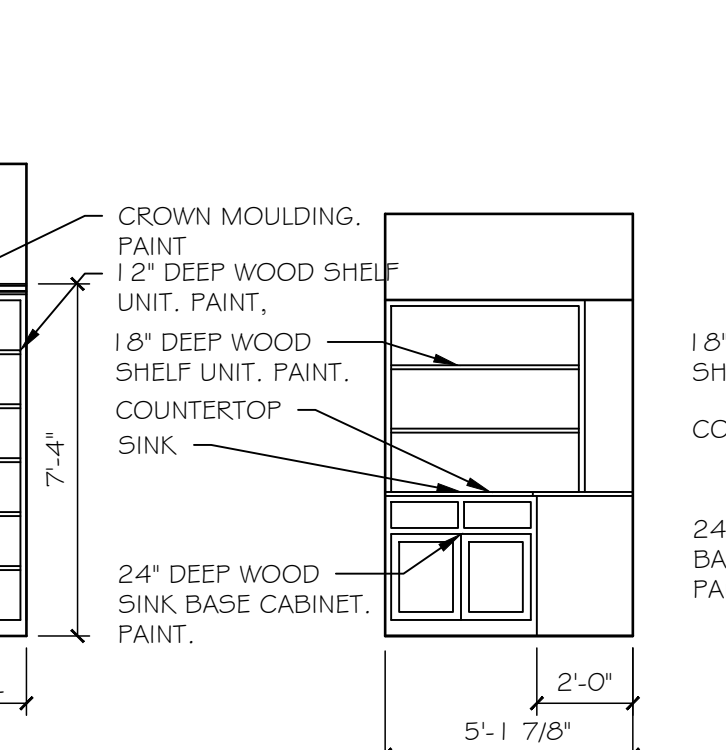
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SCALE: 1/4" = 1'-0"



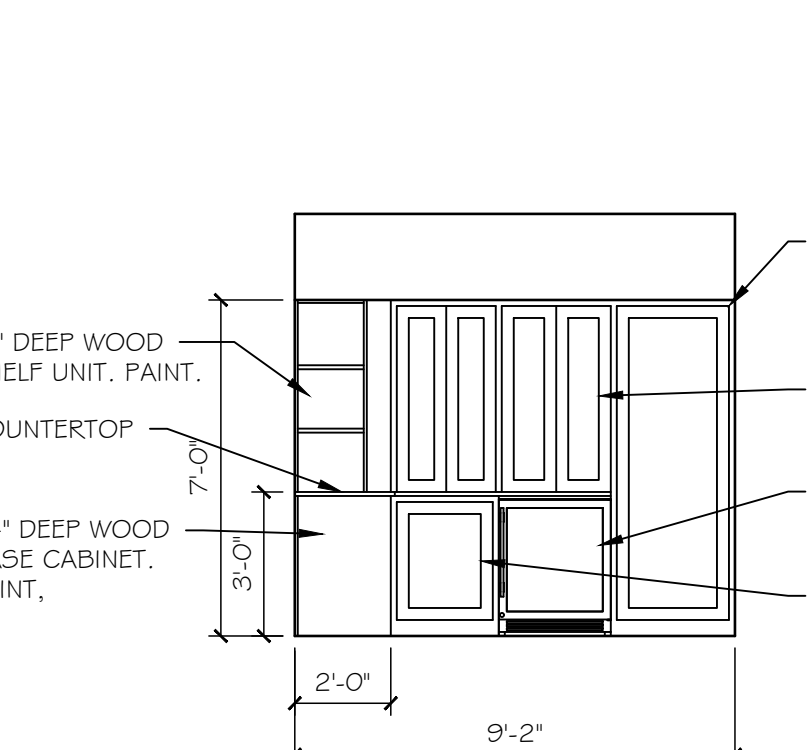
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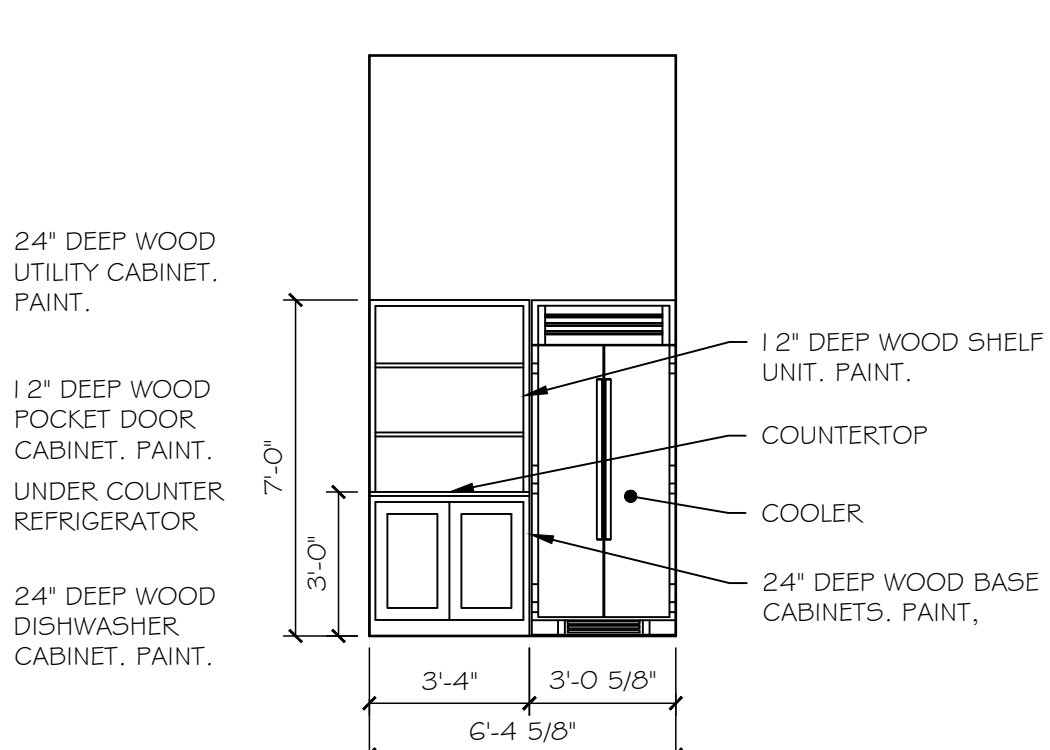
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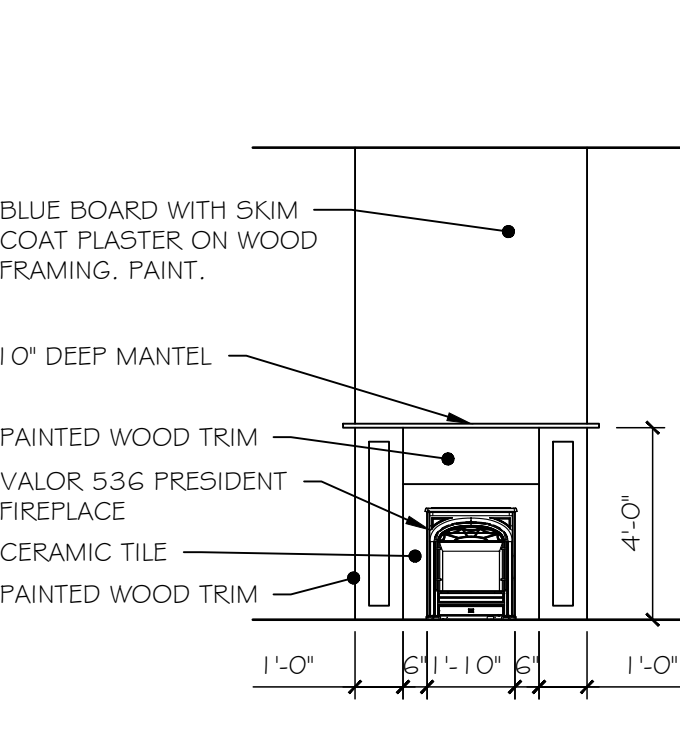
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SCALE: 1/4" = 1'-0"



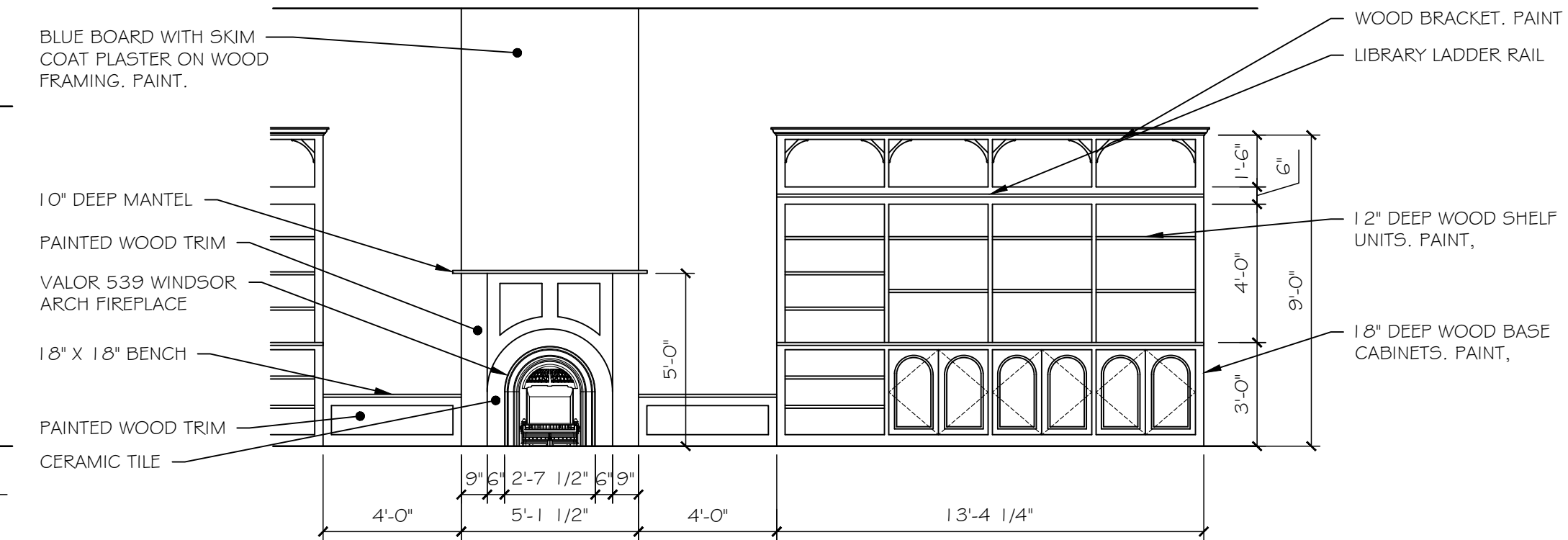
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SCALE: 1/4" = 1'-0"



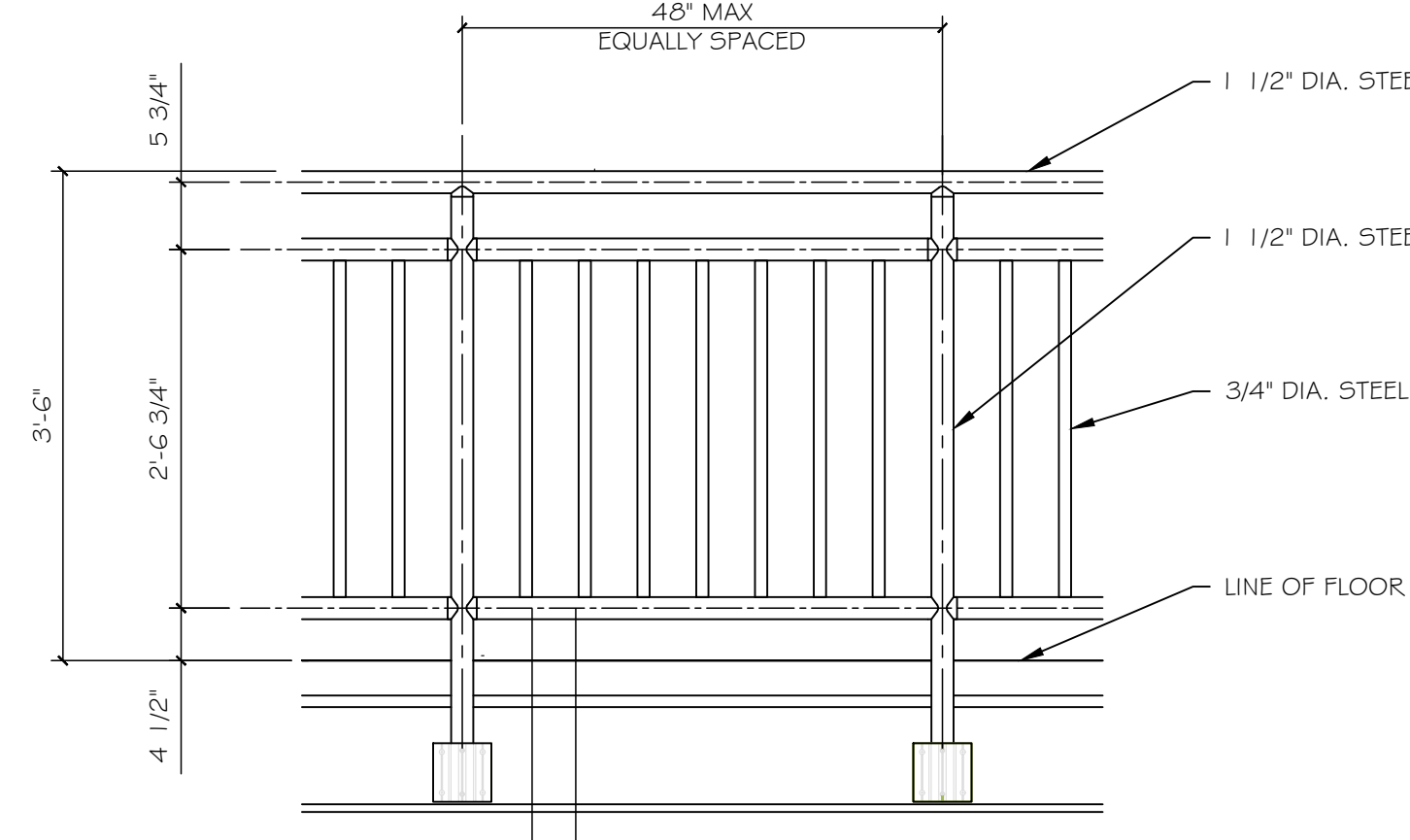
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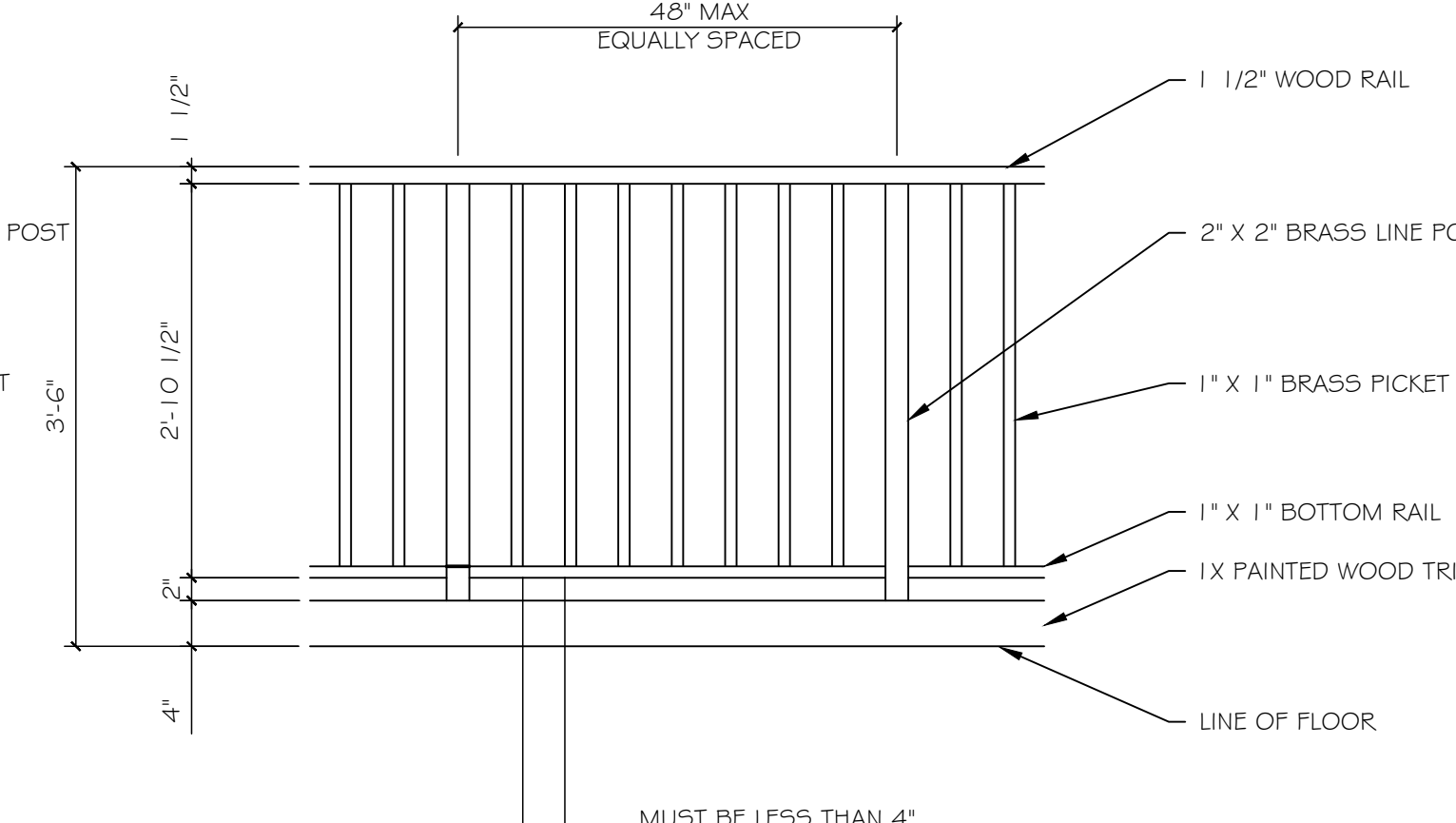
12 ELEVATION
SCALE: 1/4" = 1'-0"



13 ELEVATION
SCALE: 1/4" = 1'-0"



14 EXTERIOR GUARD RAIL
SCALE: 3/4" = 1'-0"



15 INTERIOR GUARD RAIL
SCALE: 3/4" = 1'-0"

ISSUED FOR HISTORIC TAX CREDIT REVIEW

GUILD DESIGNS, LLC

109 COUNTY RD ES

STEVENS POINT, WI 54481

KRUTZA'S TAILOR SHOP

1040 MAIN STREET

STEVENS POINT, WI

PROPOSED ELEVATIONS

DRAWN BY: RLS

CHECKED BY: MRH

DATE: 1/10/2021

SCALE: AS NOTED

DWG. FILE NAME:

PROJECT NUMBER: 21.013

SHEET NUMBER: A200

6 OF 10

REVISIONS:

NO.	DESCRIPTION	DATE

Function

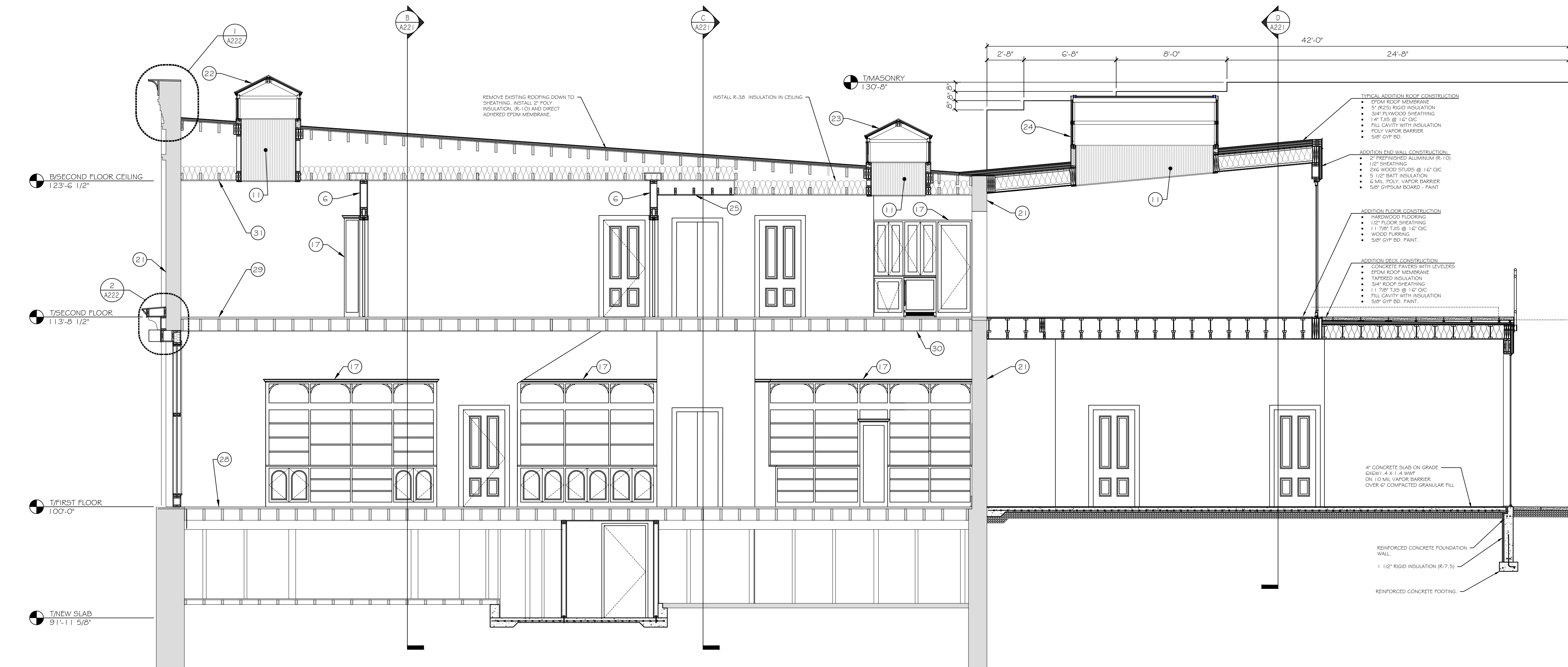
Design Studio

207 Milwaukee Drive

Wausau, WI 54401

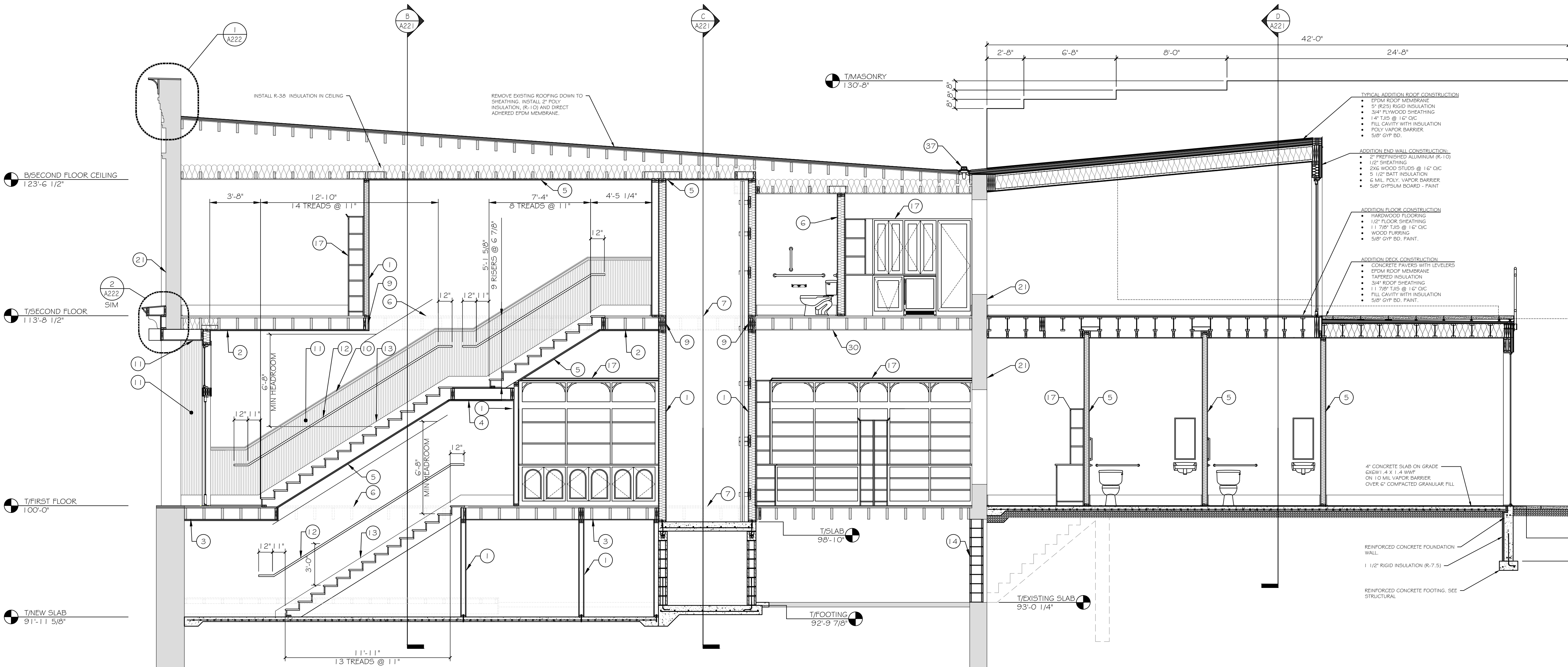
www.functiondesignstudio.com

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SECTION

SCALE: 1/4" = 1'-0"



SECTION

SCALE: 1/4" = 1'-0"

SECTION KEY NOTES:

1. ONE HOUR RATED PARTITION PER DETAIL FP2A240. GA FILE NO. WP 3514
2. REMOVE EXISTING CEILING COVERING DOWN TO JOISTS. INSTALL NEW ONE HOUR RATED CEILING ASSEMBLY PER DETAIL FP1A240.
3. INSTALL NEW ONE HOUR RATED CEILING ASSEMBLY PER DETAIL FP1A240.
4. LANDING CONSTRUCTION, ONE HOUR RATED CEILING ASSEMBLY PER DETAIL FP1A240:
 - HARDWOOD FLOORING
 - 3/4" PLYWOOD
 - 2X10S @ 16" O.C.
 - 5/8" TYPE X GYP BD
5. WOOD STUD AND GYPSUM BOARD PARTITION. CONSTRUCTED OF 2 X 4 WOOD STUDS @ 16" O.C. W/5/8" GYPSUM BOARD EACH SIDE. INSTALL WOOD BLOCKING BETWEEN WOOD JOISTS AS REQUIRED TO FASTEN TOP OF PARTITIONS. INSTALL FIREBLOCKING IN STUD CAVITY PER IBC 718.
6. WOOD STUD AND GYPSUM BOARD PARTITION. CONSTRUCTED OF 2 X 6 WOOD STUDS @ 16" O.C. W/5/8" GYPSUM BOARD EACH SIDE. INSTALL WOOD BLOCKING BETWEEN WOOD JOISTS AS REQUIRED TO FASTEN TOP OF PARTITIONS. INSTALL FIREBLOCKING IN STUD CAVITY PER IBC 718.
7. CUT OPENING FOR NEW STAIRWAY.
8. CUT OPENING FOR LULA SHAFT.
9. PROVIDE CONTINUOUS SOLID BLOCKING @ STAIR WALL AND LULA SHAFT WALLS.
10. WINDSORONE WOVN002 WAINSCOT CAP PAINT.
11. TONGUE AND GROOVE BEADED WOOD WAINSCOTING. PAINT.
12. 1 1/2" DIA. BIRCH HANDRAIL MIN 1 1/2" FROM WALL BOTH SIDES OF STAIR. (TYPICAL)
13. 1X WOOD STRINGER. PAINT.
14. INFILL EXTERIOR WALL OPENING WITH 1 1/2" CMU. INSTALL WATERPROOFING ON EXTERIOR SIDE.
15. NEW CONCRETE SLAB.
16. NEW COLUMNS AND CONCRETE FOOTINGS. SUPPORT STRUCTURE AS REQUIRED.
17. BUILT IN CABINETRY.
18. VALOR 539 WINDSOR ARCH FIREPLACE.
19. VALOR 536 PRESIDENT FIREPLACE.
20. 18" X 18" X 48" BENCH.
21. CHEMICALLY REMOVE PAINT FROM EXISTING MASONRY 4 TUCKPOINT MASONRY PER SPECIFICATION SECTION 04 03 10.4 04 01 20.
22. 4X8" GABLE END RIDGE SKYLIGHT ABOVE. CENTER IN ROOM.
23. 4X8" GABLE END RIDGE SKYLIGHT ABOVE.
24. 6X10" GABLE END RIDGE SKYLIGHT ABOVE.
25. FURR CEILING DOWN IN THIS AREA TO MATCH EXISTING CEILING HEIGHT.
26. PAINTED WOOD PANELING.
27. LANDING CONSTRUCTION:
 - HARDWOOD FLOORING
 - 3/4" PLYWOOD
 - 2X10S @ 16" O.C.
 - 5/8" GYP BD
28. REMOVE EXISTING FLOOR COVERINGS DOWN TO ORIGINAL HARDWOOD FLOORING. EXISTING HARDWOOD FLOOR TO REMAIN. PATCH EXISTING HARDWOOD TO MATCH. SAND AND REFINISH.
29. REMOVE EXISTING FINE FLOORING AND SUBFLOORING TO ACCESS SECOND FLOOR FRAMING REPAIRS. INSTALL NEW 3/4" PLYWOOD SHEATHING AND NEW HARDWOOD FLOORING TO MATCH FIRST FLOOR. SAND AND REFINISH.
30. EXISTING PRESSED TIN CEILING TO REMAIN. REWORK AS REQUIRED AT NEW PARTITIONS. PATCH WITH SALVAGED MATERIALS. PREP AND PAINT.
31. REMOVE EXISTING CEILING FINISHES DOWN TO STRUCTURE. INSTALL NEW BLUE BOARD AND SKIM COAT PLASTER. PAINT.
32. RAIL BRACKET BY ELEVATOR SUPPLIER. CONTRACTOR TO VERIFY AMOUNT AND LOCATION WITH ELEVATOR SUPPLIER. PROVIDE WOOD BLOCKING AT EACH BRACKET.
33. INSTALL NEW WOOD WINDOWS IN EXISTING OPENING. MILLED TO MATCH EXISTING WOOD WINDOWS ON THE SECOND FLOOR. INSTALL NEW WOOD TRIM TO MATCH EXISTING WINDOW TRIM ON SECOND FLOOR.
34. INSTALL NEW WOOD TRIM AT EXISTING DOOR OPENING TO MATCH DOOR TRIM ON EXISTING DOOR AT SECOND FLOOR.
35. EXISTING WOOD WINDOWS TO REMAIN. REGLAZE AS REQUIRED. REMOVE SECURITY BARS. PATCH AND PAINT WINDOWS AND TRIM.
36. EXISTING DOOR TRIM TO REMAIN. PATCH AND PAINT.
37. INSTALL ROOF DRAIN AND OVERFLOW ROOF DRAIN. PIPE TO STORM SEWER.

NO.	DESCRIPTION	DATE

2021 Property Records for City of Stevens Point, Portage County

November 23, 2021

Tax key number: 281-24-0832202923

Property address: 1040 Main St

Owner: Wilfred Fang
816 Sommers St
Stevens Point, WI 54481

Zoning: B3 Central Business, Downtown Design Review, Mathias Mi

Traffic / water / sanitary: Medium / City water / Sewer

Legal description:

Summary of Assessment	
Land	\$19,800
Improvements	\$51,700
Total value	\$71,500

Land									
Qty	Land Use	Width	Depth	Square Feet	Acres	Water Frontage	Tax Class	Special Tax Program	Assess Value
1	Commercial	20	132	2,640	0.061	None	Commercial		\$19,800

Commercial Building (1040 Main St. Building)

Section name: Section 1
Year built: 1879
% complete: 100%
Stories: 2.00
Perimeter: 160 LF
Total area: 2,400 SF (all stories)



Occupancies	Designed Use	Actual Use	Units	Area per Unit	Construction Class	Avg Ht	Quality	CDU
	Mixed retail w/ res units	Retail, general	1	1,200	Masonry bearing walls	14.00	C (AV)	Average
	Storage warehouse	Unf storage (non-warehouse)	1	1,200	Masonry bearing walls	14.00	E (PR)	Poor

Exterior walls HVAC	Component Description	Count	Stops	Area (sf)	Area (%)	Quality
	Brick, Solid			2,400	100.0%	C (AV)
	Package unit			1,200	50.0%	C (AV)

Section 1 basement
Levels: 1.00
Perimeter: 160 LF
Total area: 1,200 SF (all levels in basement)

2021 Property Records for City of Stevens Point, Portage County

November 23, 2021

Occupancies	Designed Use	Actual Use	Units	Area per Unit	Basement Type	Construction Class	Avg Ht	Quality	CDU
	Mixed retail w/ res units	Support area	1	1,200	Unfinished	Masonry bearing walls	8.00	D (FR)	Fair
Other features	Qty	Description	Units	Grade	Location	Yr Blt	Condition		
	1	Enclosed Frame Entry	200	C		1879	Av		

Building Permits				
Issued	Permit #	Purpose	\$ Amount	Completed
3/16/2009	36087	Replace rubber roof	\$7,000	3/16/2010
9/1/2004	32688	To 100 amp	\$1,200	9/1/2005

Sales History		
Date	Price	Type



MEMORANDUM

To: Historic Preservation / Design Review Commission

From: Adam Kuhn, Associate Planner / Zoning Administrator

Date: December 2, 2021

RE: Update on the Façade Improvement Grant Program

As we close out the year 2021, I would like to provide an update on the City's Façade Improvement Grant Program. Each year, funds are allocated to provide financial assistance to certain types of façade improvements to historical buildings located within the Tax Incremental Financing District No. 6. Requested funds are to be approved by the Historic Preservation / Design Review Commission, with projects requesting more than \$30,000 in funds also needing Common Council approval.

Over the last year, City staff have closed out and disbursed funds to three approved projects. A brief summary, followed by pictures showing the final improvements, are shown below.

1. Fall Line Outfitters – 904 Main Street

On May 12, 2021, the Historic Preservation / Design Review Commission approved a façade grant in the amount of \$2,423.03. Said request included replacing the existing 'Tricor Insurance' awning fabric with a new fabric indicating the new business in the tenant space, Fall Line Outfitters. Additional funds were used to repaint window trim, door trim and other elements of the storefront.

www.stevenspoint.com

Open Records Rider: The City of Stevens Point is subject to Wisconsin Statutes relating to public records. Communication, such as this document, sent or received by City employees are subject to these laws. Unless otherwise exempted from the public records law, senders and receivers of City communication should presume that the communications are subject to release upon request, and to state record retention requirements.



2. Compass Rentals, LLC – 1201 Main Street

A façade grant in the amount of \$26,253.38 was approved by the Commission on November 11, 2020. The grant request included replacing all second-floor windows, repairing three chimneys on the roof of the structure and general tuckpointing.



3. Caravan Wine Shop – 1221 Second Street

On August 5, 2020, the Commission approved a façade grant request in the amount of \$12,128.80. Approved improvements include constructing a jump platform of the building's west- and south-facing wall, remove and replace the storefront door and windows, remove an existing sign cabinet and retractable hardware from the west-facing wall, and general tuckpointing.



If you have any follow-up questions about the projects above, please do not hesitate to contact me.