



Our intention is to have in-person meetings going forward. For the time being, we will hold the City Committee Meetings, Plan Commission, Council and most others at the Community Room at 933 Michigan Avenue. This in-person location will meet the legal requirement for our open meetings.

We will have a virtual option available, but the technology for the hybrid style meeting may not be reliable all of the time.

Members

- Mayor Wiza
- Alderperson Kneebone
- Commissioner Arntsen
- Commissioner Cooper
- Commissioner Haines
- Commissioner Hoppe
- Commissioner Rice

AGENDA

CITY PLAN COMMISSION

Date	September	Location:	Community Room
and	7, 2021		933 Michigan Avenue, Stevens Point, WI
Time:	6:00 PM		
		<u>OR</u>	
		<u>Zoom Teleconferencing</u>	
			Meeting ID: 817 1042 3459 Passcode: 249482
		<u>By Computer:</u>	
			https://us02web.zoom.us/j/81710423459?pwd=eEI5Y2FnWVRpS28xU2gyRFYvaFhIQT0
		<u>By Phone:</u>	+1-312-626-6799 (US Chicago)

Opening Section

1. Roll Call

Discussion and Possible Action on the Following:

2. Selection of a temporary chairperson for the September 7, 2021 meeting of the City Plan Commission.
3. Report of the August 2, 2021 meeting of the City Plan Commission.
4. Public Hearing and action on a request from Heidi Oberstadt for a conditional use permit to construct a detached garage at 524 Bukolt Avenue (Parcel ID 281240830402607) using setback requirements of the Traditional Neighborhood Overlay District, consistent with Ch. 23.02(1)(h)(3).
5. Public Hearing and action on a request from Ronald Walters for a conditional use permit to operate a day care facility at 4701 Industrial Park Road (Parcel ID 281230803110005),

PLEASE TAKE NOTICE that any person who has special needs while attending these meetings or needs agenda materials for these meetings should contact the City Clerk as soon as possible to ensure that a reasonable accommodation can be made. The City Clerk can be reached by telephone at (715) 346-1569 or by mail at 1515 Strongs Avenue, Stevens Point, WI 54481.

Maps further defining the above area(s) may be obtained from the City of Stevens Point Department of Community Development, 1515 Strongs Avenue, Stevens Point, WI 54481, or by calling (715) 346-1567, during normal business hours.

PLEASE TAKE FURTHER NOTICE that a quorum of the Common Council may be in attendance at this meeting.

consistent with Ch. 23.02(3)(a)(3)(k).

6. A request from Matt Disher for an exception to driveway requirements at 517 Indiana Avenue (Parcel ID 281240828401604), consistent with Ch. 23.01(15)(i)(3)(k).
7. A request from the City of Stevens Point for a Site Plan Review to install a gazebo at 2340 Church Street (Parcel ID 281240832403402), consistent with Ch. 23.01(11).
8. Presentation on accessory dwelling unit and accessory commercial unit neighborhood meetings.
9. Presentation on the U.S. Census data release.
10. July and August, 2021 Monthly Reports.
11. Director's Report.

Closing Section:

12. Adjourn

REPORT OF CITY PLAN COMMISSION

August 2, 2021 – 6:00 PM
In-Person & Zoom Conference Call Meeting

PRESENT: Mayor Wiza, Commissioner Cooper, Commissioner Rice, and Commissioner Arntsen.

EXCUSED: Alderperson Kneebone, Commissioner Haines, and Commissioner Hoppe

ALSO PRESENT: Director Kernosky, Associate Planner/Zoning Administrator Kuhn, Comptroller/Treasurer Ladick, Alderperson Dalton, Alderperson Fishler, Alderperson Johnson, Alderperson Keymer, Alderperson Morrow, Dawn Gunderson, Mark Johnson, Kyle Brissen, and unidentified audience members via Virtual Zoom Meeting.

INDEX:

1. Roll call.

Discussion and possible action on the following:

2. Report of the July 6, 2021 meeting of the City Plan Commission.
 3. Public Hearing and action on a request from the City of Stevens Point to amend the Project Plan for Tax Incremental District No. 5 to share surplus increments with Tax Incremental District No. 10, 11, 12 & 13 under the provisions of Wisconsin Statutes Section 66.1105(6)(f)2.
 4. A request from Mark Johnson, representing Shree Laxmi Narayan Inc., for a Site Plan Review to construct a drive-in restaurant at an unaddressed parcel off of Frontage Road (Parcel ID 281240829140013), consistent with Ch. 23.02(2)(f)(5)(b).
 5. A request from Cassie Berding, representing Northwest Journey, for a sign variance to install a freestanding sign on the property at 2442 Sims Avenue (Parcel ID 281240833200107), consistent with Ch. 25.14.
 6. Director's Report.
 7. Adjourn.
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1. Roll call.

Present: Wiza, Cooper, Rice, Arntsen

Excused: Kneebone, Haines, Hoppe

Discussion and possible action on the following:

2. Report of the July 6, 2021 meeting of the City Plan Commission.

Motion by Commissioner Cooper to approve the report of the July 6, 2021 Plan Commission meeting; seconded by Commissioner Arntsen.

Motion carried 4-0.

3. Public Hearing and action on a request from the City of Stevens Point to amend the Project Plan for Tax Incremental District No. 5 to share surplus increments with Tax Incremental District No. 10, 11, 12 & 13 under the provisions of Wisconsin Statutes Section 66.1105(6)(f)2.

Dawn Gunderson, representing Ehlers, provided an overview on the request to share surplus increments from Tax Incremental District No. 5 to Tax Incremental Districts No. 10, 11, 12 & 13. Ms. Gunderson discussed the

approval process required for the project plan amendment and the “Statement of Kind, Number and Location of Proposed Public Works and Other Projects” for Tax Incremental District No. 5.

Mayor Wiza declared the public hearing open.

Mayor Wiza declared the public hearing closed.

Commissioner Rice sought clarification on the City’s ability to continue providing incentives for future project in Tax Incremental District No. 5 provided surplus increments are shared with other Tax Incremental Districts.

Commissioner Arntsen sought clarification that the sharing of surplus increments would not take away from dollars being spent within Tax Incremental District No. 5.

Comptroller/Treasurer Ladick stated that this agenda item provides the City the opportunity to share surplus increment from Tax Incremental District No. 5 to District No. 10, 11, 12 & 13 in the event that it is needed in future years. He further explained that the Ehlers report indicated that sufficient increment exists to support both future projects within Tax Incremental District No. 5 as well as sharing increment between other districts if needed.

Motion by Commissioner Arntsen to approve the request from the City of Stevens Point to amend the Project Plan for Tax Incremental District No. 5 to share surplus increments with Tax Incremental District No. 10, 11, 12 & 13 under the provisions of Wisconsin Statutes Section 66.1105(6)(f)2; seconded by Commissioner Cooper.

Motion carried 4-0.

4. A request from Mark Johnson, representing Shree Laxmi Narayan Inc., for a Site Plan Review to construct a drive-in restaurant at an unaddressed parcel off of Frontage Road (Parcel ID 281240829140013), consistent with Ch. 23.02(2)(f)(5)(b).

Associate Planner/Zoning Administrator Kuhn explained the request to construct a coffeehouse establishment, which would provide off-street parking spaces, drive-thru compatibility and bicycle parking accommodations. While the proposed project meets additional development regulations as required within Tax Increment District No. 5, all planned development within the aforementioned district requires a Site Plan Review. Staff recommended approval with the conditions outlined in the staff report.

Commissioner Arntsen asked if the proposed development is consistent with the planned improvements for Business 51.

Director Kernosky stated that the northern segment of Business 51 (defined as between Northpoint Drive and Fourth Avenue) is more auto-centric which would be consistent with the drive-thru nature of the proposed development. Further discussion occurred on the long-term plans for Frontage Road as the City progresses past the 30% design phase of the planned Business 51 improvement project.

Commissioner Arntsen asked whether the Commission can pass judgement on the types of uses that should and should not be allowed on a certain property.

Director Kernosky stated that the proposed use is permitted within the “B-4” Commercial District. The City’s Zoning Code requires a Site Plan Review for any development proposed within Tax Increment District No. 5. If changes to the site plan, the Commission may place additional conditions on the request.

Motion by Commissioner Cooper to approve the request from Mark Johnson, representing Shree Laxmi Narayan Inc., for a Site Plan Review to construct a drive-in restaurant at an unaddressed parcel off of Frontage Road (Parcel ID 281240829140013), consistent with Ch. 23.02(2)(f)(5)(b) with the following conditions:

1. **A Knox box shall be installed, subject to the review and approval of the City Fire Marshal.**
2. **Bicycle parking provided on the property shall meet bicycle parking standards as outlined in the City’s Zoning Code, subject to the review and approval of Community Development staff.**

3. The applicant shall submit final details on the size of wall signage proposed, subject to the review and approval of Community Development staff meeting Sign Code requirements.
4. An erosion control permit shall be obtained prior to any land disturbance.
5. Silt fencing shall be installed prior to any land disturbance and remain during the duration of construction.
6. A right-of-way permit shall be obtained prior to any land disturbance within the Frontage Road Right-of-Way, subject to the review and approval of the Public Works Department.
7. The applicant shall obtain a building permit prior to the start of construction.
8. Staff shall have the ability to approve minor amendments to the approved site plan.

Seconded by Commissioner Arntsen.

Motion carried 4-0.

5. A request from Cassie Berding, representing Northwest Journey, for a sign variance to install a freestanding sign on the property at 2442 Sims Avenue (Parcel ID 281240833200107), consistent with Ch. 25.14.

Associate Planner/Zoning Administrator summarized the request to install a freestanding sign that exceeds the maximum number of freestanding signs allowed along Michigan Avenue. Given the size of the subject property and the number of primary uses that occupy the lot, staff believes that all requirements to grant a variance have been met.

Commissioner Rice asked if it is possible to have all freestanding signs along Michigan Avenue combined into one sign, similar to a shopping center sign.

Mayor Wiza stated that the Police Department likely would prefer having their own freestanding sign.

Motion by Mayor Wiza to approve the request from Cassie Berding, representing Northwest Journey, for a sign variance to install a freestanding sign on the property at 2442 Sims Avenue (Parcel ID 281240833200107), consistent with Ch. 25.14. with the following conditions:

1. The freestanding sign shall be set back at least five feet from the property line.
2. The applicant shall adhere to clearview requirements, subject to the review and approval of Community Development staff meeting applicable Zoning Code requirements.
3. The sign shall conform to all other applicable requirements within the City's Sign Code.
4. A building permit shall be obtained prior to installation of signage.
5. Minor modifications to the proposed sign may be approved by staff.

Seconded by Commissioner Arntsen.

Motion carried 4-0.

6. Director's Report

Director Kernosky noted that his memorandum had been included in the Agenda Packet. It contained:

- a. Developmental Updates
- b. Special Project Updates
- c. Public Policy Updates
- d. Economic Development Updates

6. Adjourn.

Meeting adjourned at 6:27 PM.

A recording of this meeting can be viewed/heard at: <https://stevenspoint.com/365/AgendasMinutesVideos>

Administrative Staff Report

Construct a Detached Garage

524 Bukolt Avenue

September 7, 2021

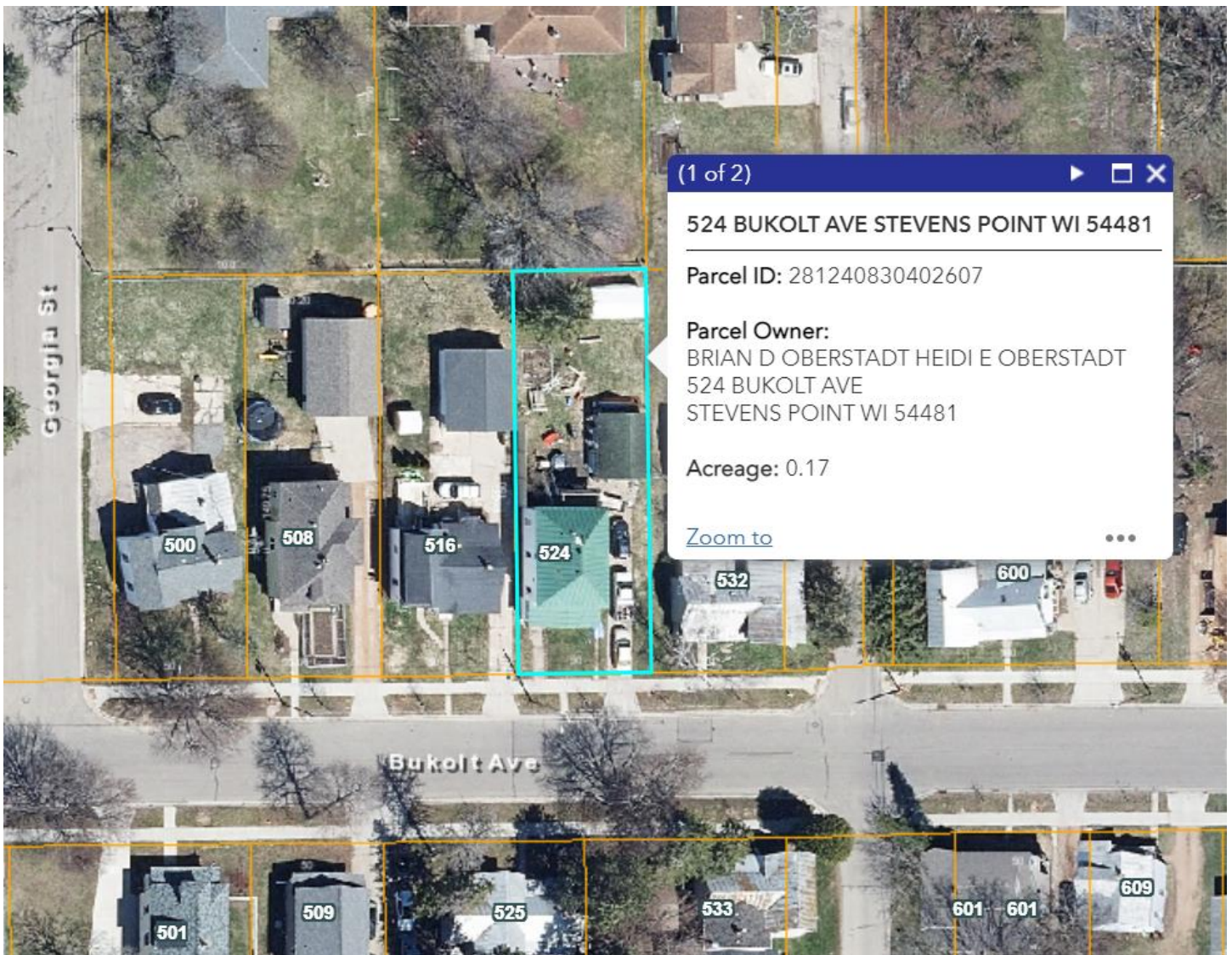


Department of Community
Development

Applicant(s): - Heidi Oberstadt Staff: - Ryan Kernosky, Director rkernosky@stevenspoint.com - Adam Kuhn, Associate Planner akuhn@stevenspoint.com Parcel Number(s): 281240830402607 Zone(s): "R-3" Single- and Two-Family Residence District Master Plan: - Single-Family Residential Council District: - District 4 Ald. Zarazua Lot Information: - Frontage: 50 ft. - Depth: 150 ft. - Lot Size: 7,500 sq. ft. (0.172 ac.) Current Use: - Residential Applicable Regulations: 23.02(1)(h)(3)	Request - Public Hearing and action on a request from Heidi Oberstadt for a conditional use permit to construct a detached garage at 524 Bukolt Avenue (Parcel ID 281240830402607) using setback requirements of the Traditional Neighborhood Overlay District, consistent with Ch. 23.02(1)(h)(3). Attachment(s) - Application - Plans Findings of Fact - The applicant is requesting to raze the existing detached garage on the subject property and construct 720 sq ft detached garage. - A minimum three-foot side yard and rear setback must be provided for accessory structures provided that the structure does not exceed 15 feet in height and is at least ten feet away from the primary structure on the lot. Accessory structures not meeting these requirements shall adhere to the principal setback requirements of the underlying zoning district. - The proposed structure is set back six feet from the principal structure and has a proposed height of 22 feet. - The property is zoned "R-3" Single- and Two-Family Residential and requires a minimum 30' rear setback and 7' 6" of side yard setback. 40 feet of rear yard setback and three feet of side yard setback is proposed. - The subject property is located within the Traditional Neighborhood Overlay District, which allows for modified setback requirements via a conditional use permit. - The Plan Commission and Common Council may attach additional conditions onto this request. Staff Recommendation Approve the conditional use request to construct a detached garage at 524 Bukolt Avenue (Parcel ID 281240830402607) with a three-foot side yard setback, subject to the following conditions: - The detached garage shall not exceed 15 feet in height, measured from grade to halfway up the end truss. - The eave of the structure shall not exceed 24 inches in width.
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3. The detached garage shall be constructed with fire rated walls, subject to the review and approval of the Building Inspection Superintendent meeting applicable State Building Code requirements.
4. A building permit shall be obtained prior to the start of construction.
5. Staff shall have the ability to approve minor amendments to the site plan.

Vicinity Map



Background

Overview: The applicant is seeking a conditional use permit to construct a 720 sq ft detached garage on the property at 524 Bukolt Avenue. A 396 sq ft detached garage currently exists on the subject property and is planned to be razed to accommodate the proposed structure.

In constructing accessory structures, property owners are required to meet the principal structure setback requirements for their respective zoning district. For example, the subject property is zoned “R-3” Single- and Two-Family Residential and requires a 25’ street setback, a 7’ 6” side yard setback and a rear yard setback that is 20% of the lot’s depth (typically 15-30 feet). However, the City’s Zoning Code provides an exception to accessory building setback requirements that allows for a minimum side and rear yard setback of three feet. A 25’ street setback would still be required. To be eligible for a three-foot side and rear yard setback, the following conditions shall be met:

1. The accessory building is located ten or more feet away from the principal building on the lot.
2. The accessory building does not exceed 15 feet in height. Please note that this height requirement is not measured from grade to peak – it is measured from grade to halfway up the building’s end truss.

According to the applicant’s submitted site plan, the proposed garage would be 22’ in height (16’ to the end truss) and approximately six feet from the principal structure. For any accessory structures within ten feet of the principal structure that it is serving, fire rated walls are required that meet State Building Code requirements.

As the proposed site plan does not meet the requirements for a 3’ side and rear setback, the applicant would be required to provide a 30’ rear yard setback and a 7’ 6” side yard setback. While a 40’ rear setback is proposed, only 3’ of side yard setback is provided along the eastern lot line. Due to lot constraints and the orientation of the existing driveway, the applicant is seeking to utilize lesser side yard setback requirements available via the Traditional Neighborhood Overlay District (“R-TND”). Within the R-TND District, property owners may seek a setback requirement for garages less than the underlying zoning district via a conditional use permit. The following provides a summary of the setback requirements and the R-TND District.

Lot Line	R-3 District Minimum Setback Requirements	Proposed Setbacks (Findings)	TND Minimum Setback Requirements
Street	25 feet	73 feet	20 feet
Side	7’ 6” on each side	23’ from western lot line, 3’ from eastern lot line	One foot on each side
Rear	20% of lot depth (minimum of 15 feet and not to exceed 30 feet)	40 feet	One foot

Ch. 23.02(1)

(h) “R-TND” Traditional Neighborhood Development Overlay District

- (1) *Intent. The purpose of this district is to allow the development and redevelopment of residential land in the city consistent with the design principles of traditional neighborhoods. A traditional neighborhood is compact, designed for the human scale, and characterized by larger homes on smaller lots with smaller setbacks from the property lines.*
- (3) *Conditional Uses as allowed in the underlying zoning district. The Common Council may consider the following conditional use setback requirements as an alternative to the setback requirements*

in the underlying zoning district. These conditional use setback requirements shall be applied to only to single- and two- family uses.

Conditional Use Setback requirements:

- *Detached Garage*
 - *Street front setback – 20 feet*
 - *Corner side yard – 12 feet, with no access to a public street*
 - *Interior side yard – 1 foot*
 - *Rear yard – 1 foot*

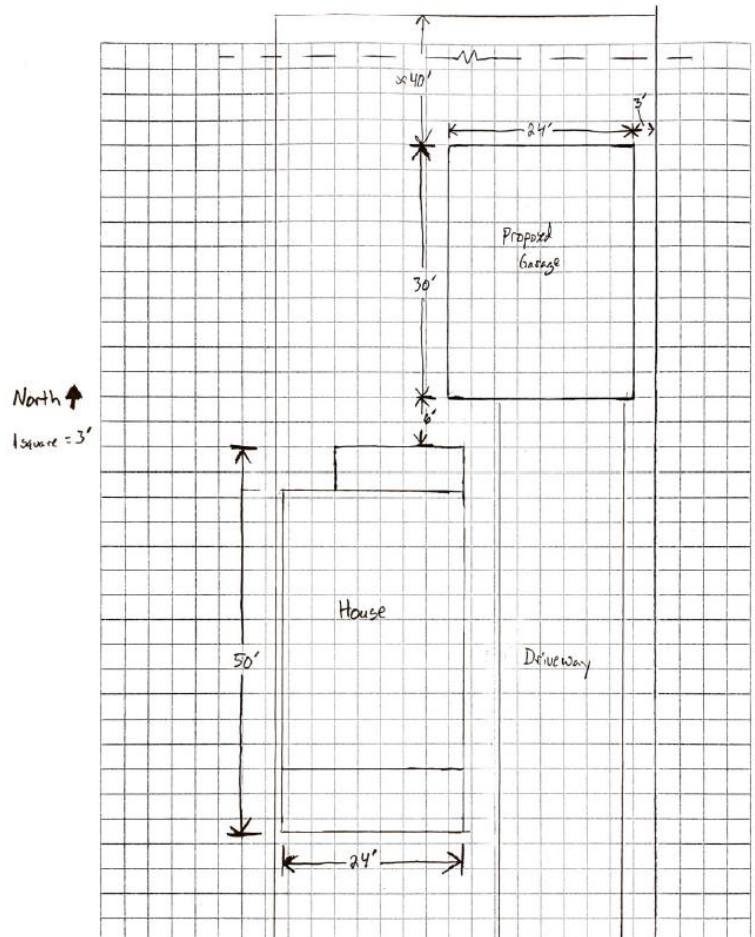
To allow for a three foot side yard setback, the applicant is requesting a conditional use permit under the provisions of Ch. 23.01(17) and 23.02(1)(h) of the City's Zoning Code. The request has been reviewed based on the review standards to issue a conditional use permit and is discussed in further detail below.

Standards of Review – Site Plan Review

1. **The establishment, maintenance, or operation of the use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.**

Analysis: The proposed detached garage will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare. Garages closer to the side lot lines are common across all residential neighborhoods, especially those in traditionally-developed areas (wherein lots are generally 45-50 feet in width and are dominated by larger two-story residences defining the streetscape. Additionally, several surrounding properties have a lesser side yard setback than what is proposed here (generally legal non-conforming structures and structures using the side yard setback exception addressed above) – meaning that a consistent development pattern exists throughout the City's north side and that the proposed conditional use permit would not impede the existing development pattern.

Findings: Under the proposed conditional use permit, the applicant is seeking to construct a detached garage three feet from the east lot line. With the proposed structure less than ten feet away from the principal structure, the R-TND setbacks would provide an alternative to the required 7' 6" side yard setback. Staff does not believe the proposed conditional use permit would be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.



2. **The use will not be injurious to the use and for the purpose already permitted, nor substantially diminish and impair property values.**

Analysis: Detached garages are a typical component of residential lots in the city. As stated above, the proposed garage will not be injurious to the use of residential lots as every lot is permitted one detached garage provided that it meets other Zoning and Building Code requirements (e.g., size, setbacks, height, etc.).

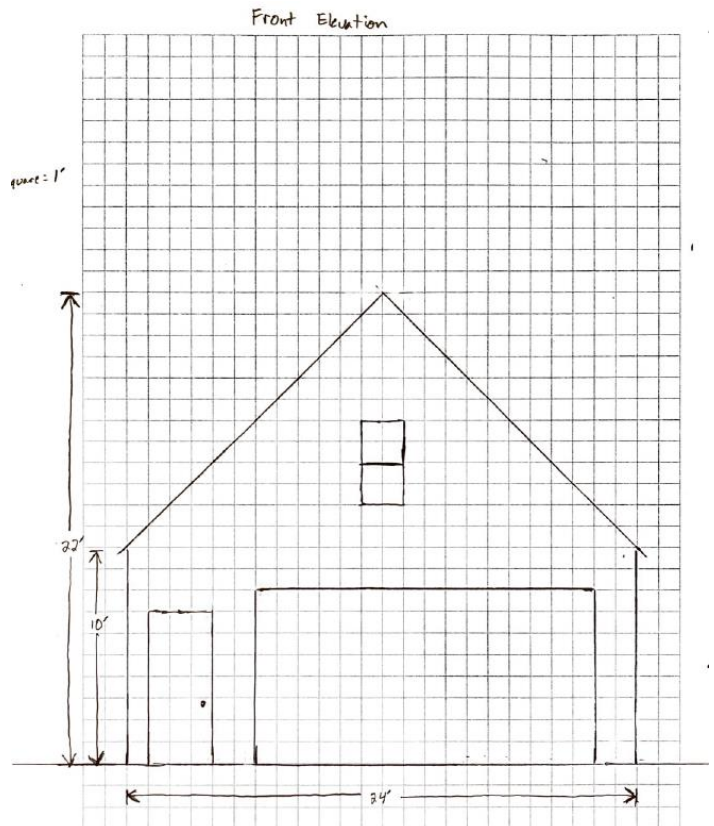
Findings: The applicant would still be required to obtain proper building permits and meet the building standards addressed above. Therefore, the use should not be injurious to the use and for the purpose already permitted.

3. **The establishment of the use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

Analysis: The respective area is in an established and developed area of the City, often with garages being set back less than what is required in the underlying zoning district.

Findings: See standards one and two above. The proposed garage will not impede on the normal and orderly development and improvement of the surrounding area.

4. **The exterior architectural appeal and function plan of any proposed structure will not be variance with either the exterior architectural appeal and function plan, and scale of the structures already constructed or in the course of construction in the immediate neighborhood or in the character of the applicable district so as to result in a substantial or undue adverse effect on the neighborhood.**



Analysis: Although details have not been provided on the type of siding material proposed, color, etc., its architectural appeal and function plans appears consistent with other detached garages in the city. A large overhead door and service door is proposed on the building's southern wall, with a window proposed above the overhead door servicing the second level.

Findings: This standard is met.

5. Adequate utilities, access roads, drainage and/or facilities have been, or are being, provided.

Analysis: A driveway currently exists that would lead to the proposed garage. By allowing for a 3' side yard setback, the driveway would not need to be disturbed and would continue to conform to current City driveway standards. The applicant has stated improper drainage exists along the east lot line that results in water pooling across their lot and the neighboring lot. With this request, the applicant is planning to re-establish the levy of the adjoining ground to improve stormwater drainage. Additionally, utilities connections exist to support the intended development.

Findings: This standard is met.

6. Adequate measures have been, or will be taken, to provide ingress and egress so designed to minimize traffic congestion in the public streets.

Analysis: The existing driveway meets minimum width requirements (nine feet), minimum side yard setback requirements (one foot) and is far enough away from the Bukolt Avenue – Frederick Street Right-of-Way (minimum 20' separation required). With the proposed garage, additional traffic on nearby streets is not anticipated.

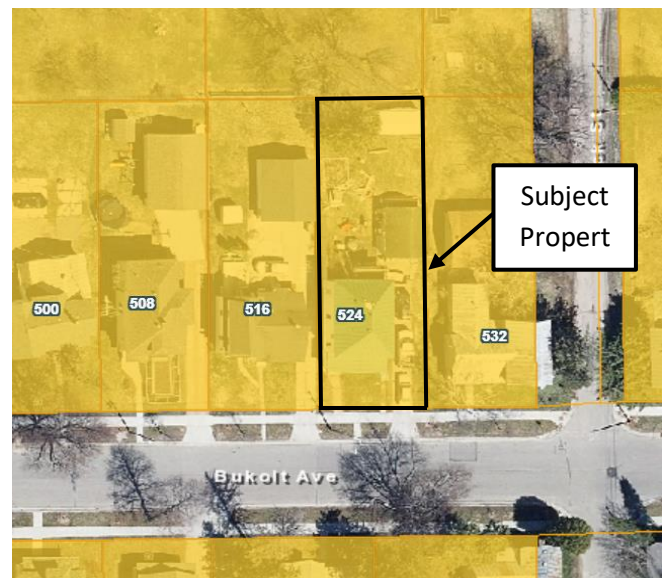
Findings: This standard is met.

7. The proposed use is not contrary to the objectives of any duly adopted land use plan for the City of Stevens Point and any of its components.

Analysis: The City's 2005 Comprehensive Plan Future Land Use Map has identified this property for residential use. The subject property is also zoned "R-3" Single- and Two-Family Residential. According to the City's Zoning Code, the "R-3"

District is established "to provide for both single family residences and two family residences intended particularly to act as a transition district between lower intensity uses such as permitted in "C", "R-1" and "R-2" districts and

	Conservancy
	Low Density
	Suburban Single Family Residential
	Single Family Residential
	Single and Two Family Residential
	Multiple Family I Residential
	Multiple Family II Residential
	Neighborhood Business
	Central Business Transition
	Central Business
	Commercial
	Highway Commercial
	Light Industrial
	Heavy Industrial
	University Facilities District
	Planned Development District
	Planned Industrial Development District
	Split Zoned



higher intensity districts, consistent with the City's Comprehensive Plan. This district is intended to be provided for all lands where sewer and water is or will be required.”

Findings: The proposed use meets the intent of the “R-3” District as the primary use of the property is a single-family residence and detached garages are commonplace for residential lots. Since the inception of the “R-TND” District, several conditional use permits were granted to allow for lesser setback requirements for various improvements (e.g., porches, decks, attached garages and single-family homes). By allowing for a 3’ side yard setback, it is consistent with the intent of the “R-3” and “R-TND” Districts.

- 8. The use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.**

Analysis: The lot and single-family residence currently exists. The conditional use permit is asking for a lesser side yard setback for a new detached garage than what is typically allowed given the findings addressed above.

Findings: The regulations of the district are met for the proposed garage provided that the conditional use permit is approved subject to the conditions outlined on pages one and two.

- 9. The proposal will not result in result in an over-concentration of high density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective systems of the community.**

Analysis: N/A

Findings: N/A

- 10. Principal – Applications for exclusive multi-family residential uses: The view from the street should maintain a residential character. The view should not be dominated by the building and not by garages, parking, mechanical equipment, garbage containers, or other storage.**

Analysis: N/A

Findings: N/A

- 11. Access to the site shall be safe.**

Analysis: Vehicular, bicycle and pedestrian access exists off of Bukolt Avenue.

Findings: Access to the site is adequate.

- 12. There shall be adequate utilities to serve the site.**

- a. The Public Works Director, Police Chief and Fire Chief shall determine whether there is adequate sanitary sewer, portable water, storm drainage, street capacity, emergency access, public**

protection services, and other utilities to serve the proposed development. They shall review the plan to ensure safety and access for safety vehicles.

Analysis: The lot currently exists with utilities serving the site.

Findings: This standard is met.

13. The privacy of the neighboring development and the proposed development shall be maintained as much as practical. Guidelines:

a. Mechanical equipment including refuse storage shall be screened from neighboring properties.

Analysis: Refuse storage occurs on site, likely via City-provided trash receptacles.

Findings: If refuse storage is increased, the applicant shall screen the refuse containers.

b. Lighting shall be located to minimize intrusion onto neighboring properties.

Analysis: Outside of additional lights on the exterior of the building, no additional lighting that would impact the surrounding neighborhood is proposed.

Findings: Lighting would be provided by the building.

c. Sources of noise shall be located in a manner that minimizes impact to neighboring properties.

Analysis: The use will be operating within the confines of the building and property.

Findings: The use should not create excessive noise.

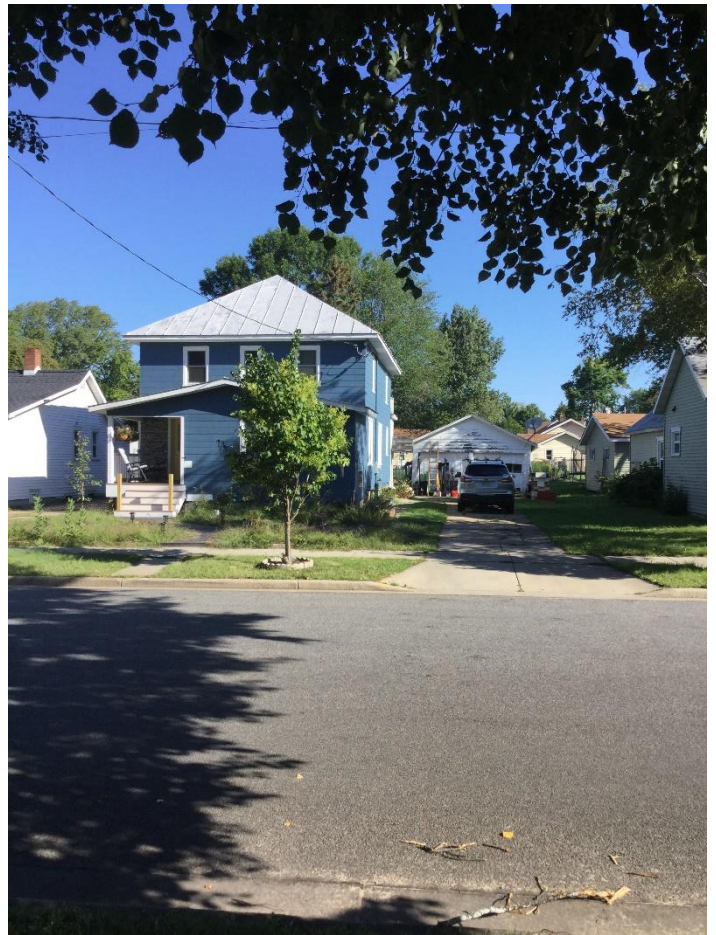
14. Principal – Applications for exclusive multi-family residential uses. Landscaping shall be provided or existing landscape elements shall be preserved to maintain a sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.

Analysis: N/A

Findings: N/A

Based on the findings above, staff would recommend approval of the conditional use permit with the conditions outlined on page one. Please keep in mind that recent State legislation has placed limitations on local jurisdictions regarding the denial of conditional use permits. Conditional use permits shall be reviewed by a means to permit a use under certain conditions applied to the use or property. For example, if a concern is raised regarding a standard above, a condition can be applied to the permit to address the concern and grant the permit.

Photos





APPLICATION FOR A CONDITIONAL USE PERMIT

(Pre-Application Conference Required)

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted		Fee Required		Fee Paid	
Associated Applications if Any				Assigned Case Manager			
Pre-Application Conference Date				Conditional Use Permit Request	Use ☐	Amend ☐	

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? ☐)	
Applicant Name		Contact Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

OWNERSHIP INFORMATION

PROPERTY OWNER 1 INFORMATION (Same as Applicant? ☐)		PROPERTY OWNER 2 INFORMATION (If Needed)	
Owner's Name		Owner's Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
Legal Description of Subject Property		
Designated Future Land Use Category		Current Use of Property
Explain the land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)		
How will the proposed development reinforce the existing or planned character of the neighborhood? (Use additional pages if necessary)		

Outline steps that will be taken to reduce any negative impacts on adjacent property. (Use additional pages if necessary)

Current Zoning Surrounding Subject Property

North:		South:	
East:		West:	

Current Land Use Surrounding Subject Property

North:		South:	
East:		West:	

EXHIBITS

Owner Information Sheet	☐	Additional Exhibits If Any:
Letter to District Alderperson	☐	
Maps (vicinity, zoning, floodplains, wetlands others as requested by staff)	☐	
Site Plan (designating primary, side, and service street frontages)	☐	
Building Elevations	☐	
Parking Plan (Location, number of spaces, reductions, and design and landscaping)	☐	
Street Plan with Cross-sections	☐	
Utility Plan	☐	
Landscape Plan (including any equivalent alternative landscaping requests)	☐	
Stormwater Plan	☐	
Outdoor Lighting Plan (location of fixtures, illumination levels)	☐	

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner(s)	Date

8/9/2021

Hello, Alderperson Zarazua:

This is the required letter to ask for your support of our conditional use permit for the building of our garage at 524 Bukolt Avenue.

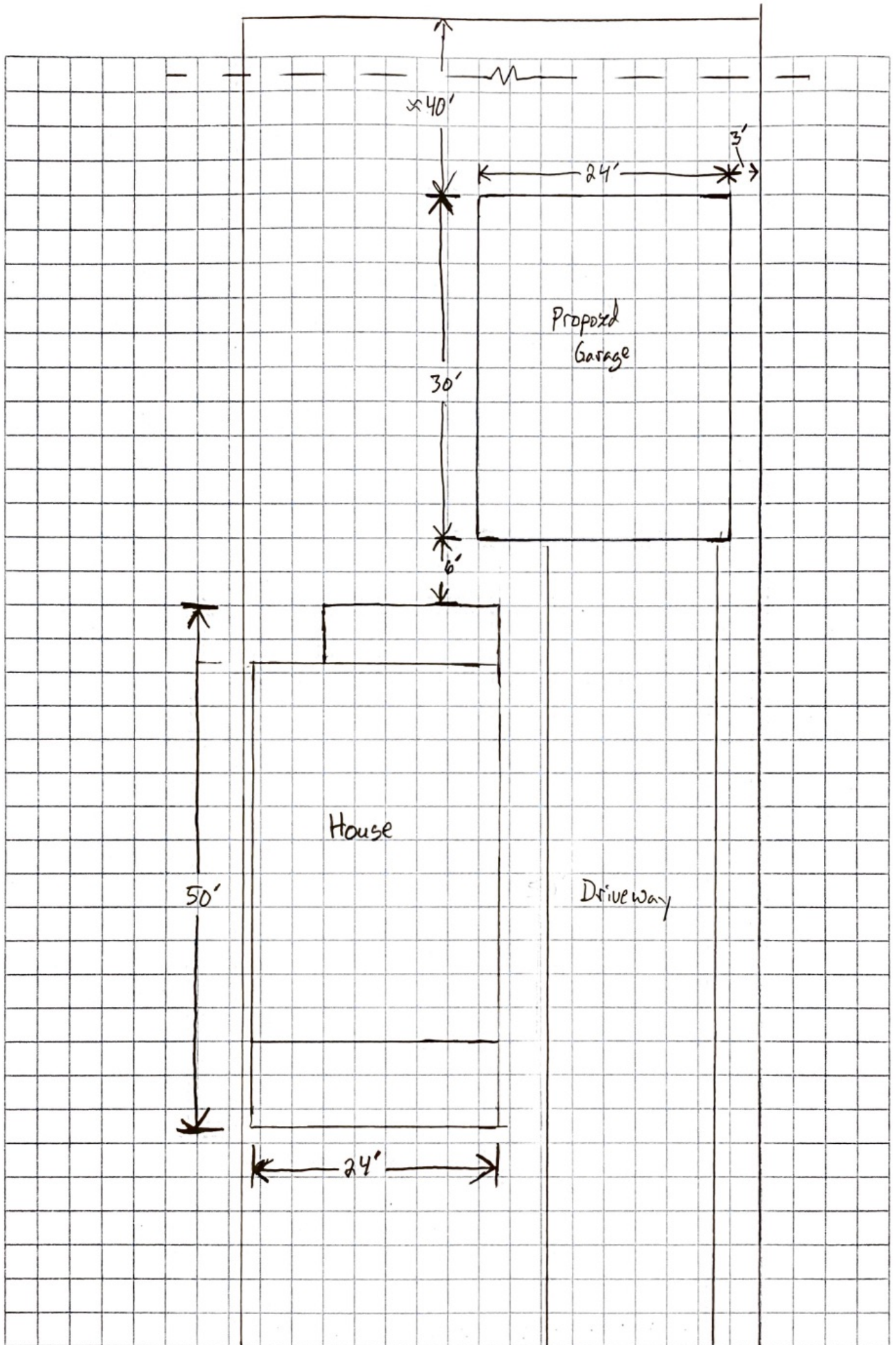
We cannot build the new garage without this permit for two reasons: 1) the garage will be the same distance from the lot line as the current garage, which is less than the 4 foot requirement, and 2) the garage will be the same distance from the house as the current garage, which is less than the 10 feet requirement. We are mitigating the 10-foot requirement by using a fire wall, which is an accepted practice.

Our North side lots sure are crazy, but we're hoping to bring much needed improvement to our property and have a usable garage!

Thank you for your consideration.

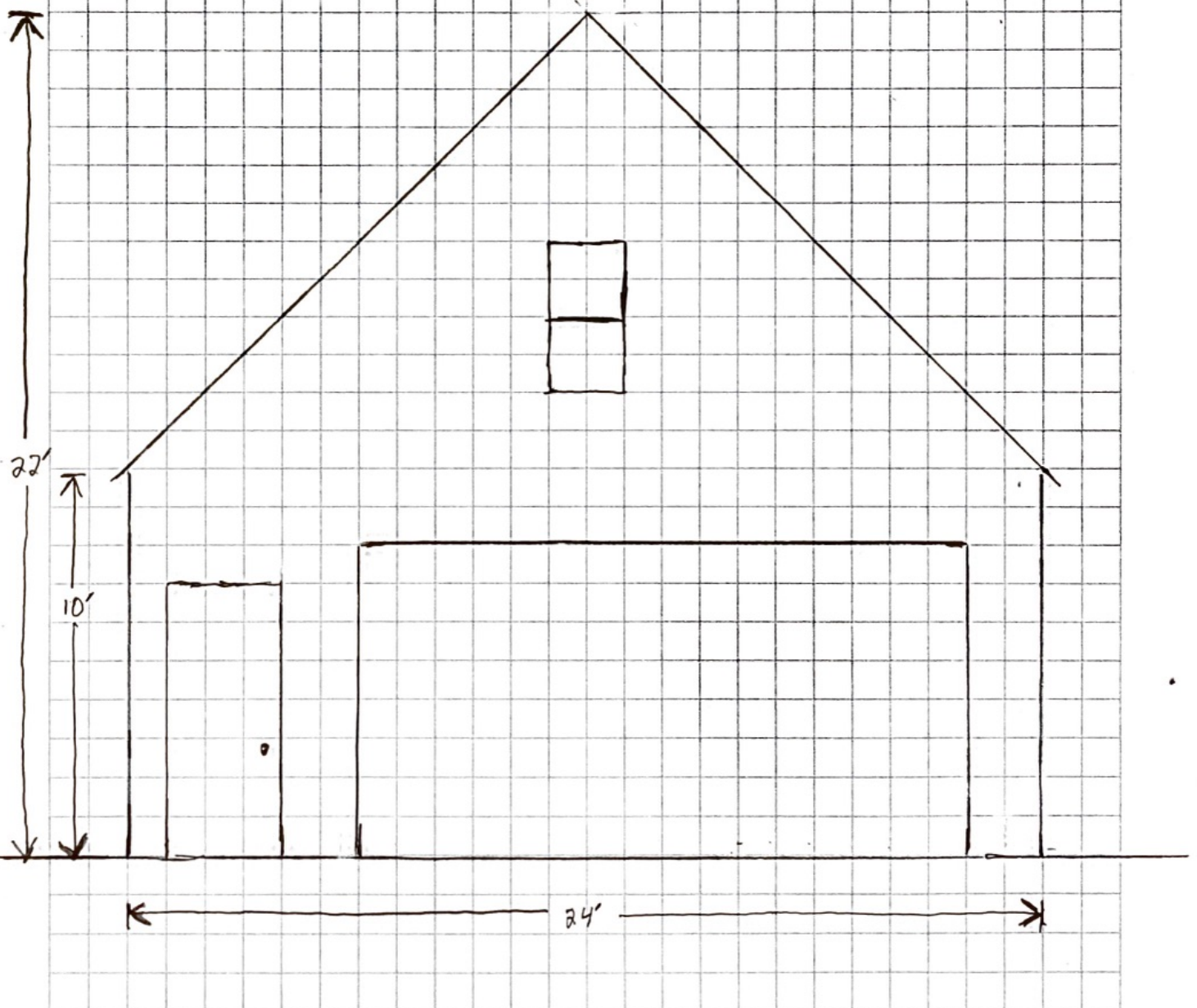
Heidi and Brian Oberstadt

North ↑
1 square = 3'



Front Elevation

1 square = 1'





I do not object to giving Heide Oberstadt a conditional use permit to construct a detached garage at 524 Burkolt Ave.

Arwen Derzinski
507 6th Ave.



Mr. Irvin Derezinski
507 6th Ave
Stevens Point, WI 54481



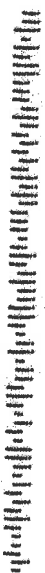
GREEN BAY WI 543
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FOREVER / USA

Adam Kuhn
Associate Planner Stevens Point
1515 Strong Ave. City Hall
Stevens Point, Wis. 54481

54481-358493



Administrative Staff Report

Operate a Day Care Facility 4701 Industrial Park Road September 7, 2021

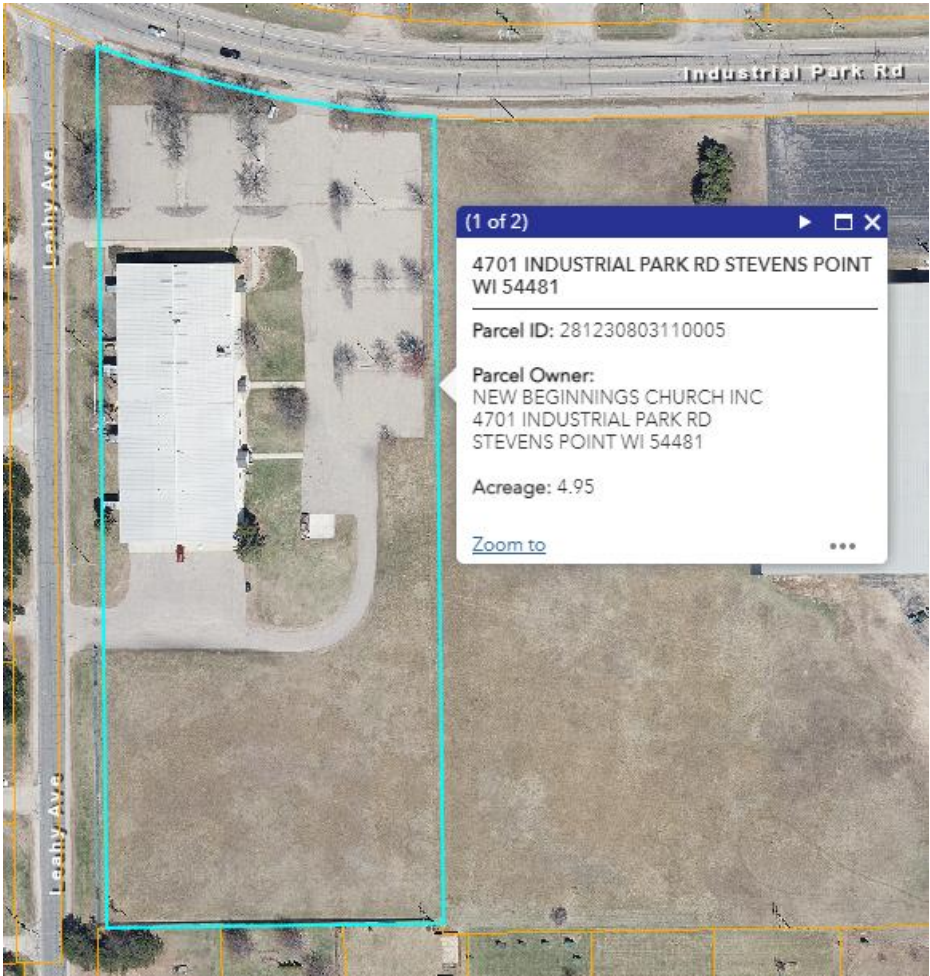


Department of Community Development

Applicant(s): - Ronald Walters Staff: - Ryan Kernosky, Director rkernosky@stevenspoint.com - Adam Kuhn, Associate Planner akuhn@stevenspoint.com Parcel Number(s): 281230803110005 Zone(s): "M-2" Heavy Industrial Master Plan: - Business Park District Council District: - District 6 Ald. Slowinski Lot Information: - Frontage: 1,073 ft. - Depth: 737 ft. - Lot Size: 215,560 sq. ft. (4.949 ac.) Current Use: - Church Applicable Regulations: 23.02(3)(a)(3)(k)	Request - Public Hearing and action on a request from Ronald Walters for a conditional use permit to operate a day care facility at 4701 Industrial Park Road (Parcel ID 281230803110005), consistent with Ch. 23.02(3)(a)(3)(k). Attachment(s) - Application - Plans Findings of Fact - The applicant is requesting a conditional use permit to operate a day care facility on the subject property. - The day care is planned to be located within the middle one-third of the building. - The northern one-third is utilized as a religious institution, while the southern one-third is utilized as a warehouse for a roof contracting business. - Playground equipment and parking lot improvements are planned to accommodate the day care use of the building. - Day care centers that provide care and supervision for more than eight children are a conditional use permit within the "M-2" Heavy Industrial District. - The Plan Commission and Common Council may place additional conditions onto the request. Staff Recommendation Approve the conditional use request to operate a day care facility at 4701 Industrial Park Road (Parcel ID 281230803110005), subject to the following conditions: - The applicant shall stipe the parking lot adjacent to the day care center, subject to the review and approval of Community Development staff meeting minimum parking lot standards. - Accessible parking shall be provided in compliance with the Americans with Disabilities Act Accessibility Guidelines. - The dumpster pad located on the property shall be screened from public view, subject to the review and approval of Community Development staff.
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	4. The day care use shall comply with applicable municipal, county, state and federal regulations. 5. A building permit shall be obtained prior to any interior alterations of the building, subject to the review and approval of the Commercial Building Inspector. 6. A containment barrier or edging shall be installed along the edges of the gravel surface encompassing the landscape islands within the parking lot. 7. Staff shall have the ability to approve minor amendments to the site plan.
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Vicinity Map

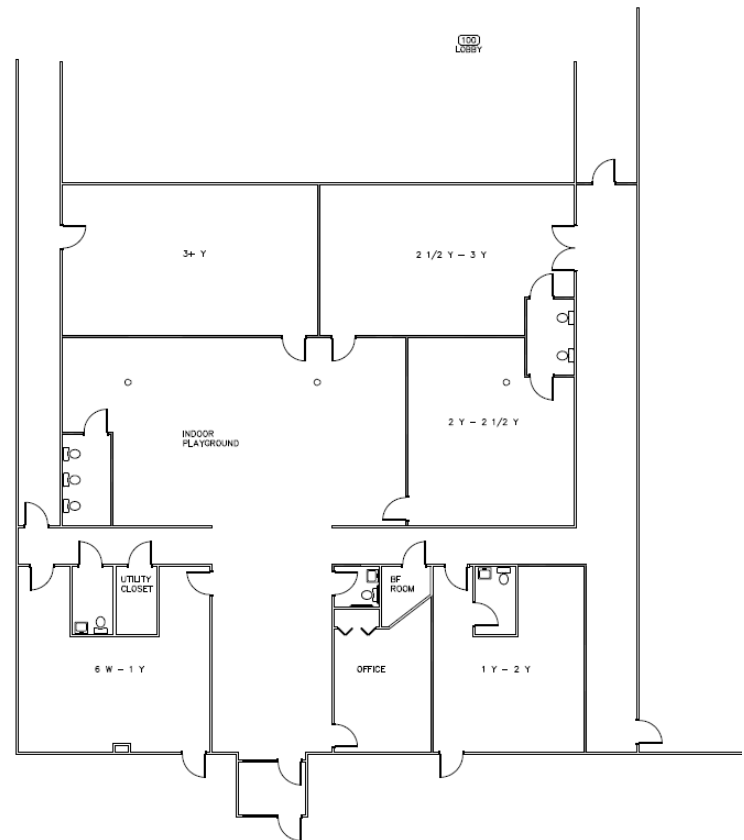


Background

Overview: The applicant is seeking a conditional use permit to operate a day care facility within an existing building at 4701 Industrial Park Road. For several years, the principal building has had two primary uses – Celebration Church operating the northern half of the building and various warehousing establishments utilizing the southern half of the building. Exhibit A below depicts the current interior layout of the building.

With the intent on purchasing the subject property, the applicant is seeking to perform interior renovations of the building to accommodate three uses in the building. Celebration Church, currently operating in the northern half of the building, is planned to relocate elsewhere in the City and a new religious institution is planned to occupy the space. The following provides a breakdown of the planned spaces within the building. Exhibit B below depicts the proposed interior layout of the building.

- Religious institution: 5,180 sq ft
- Proposed day care: 6,820 sq ft
- Superior Roofing: 12,000 sq ft
- Total building area: 24,000 sq ft



Upon obtaining occupancy, the proposed day care use is planned to be in operation Monday-Friday from 7:00am-6:00pm. Besides interior renovations, the applicant is planning to construct a playground area directly east of the building between the day care and the adjoining parking lot.

The City's Zoning Code differentiates day care uses by the number of individuals who are under care and supervision during any time. A day care center that provides care and supervision for 4-8 children regardless of age are classified as a 'Family Day Care Center.' Family Day Care Centers are a permitted use within all zoning district except for the "C" Conservancy District. In contrast, a day care center that provided care and supervision for more than eight children regardless of age are classified as a 'Large Group Day Care Center.' Large Group Day Care Centers are a conditional use within the City's industrial zoning districts. As the applicant is planning to provide care and supervision for more than eight children, a conditional use permit is required due to the property being zoned "M-2" Heavy Industrial. The following describes how the Zoning Code classifies day care centers.

DAY CARE CENTER OR CENTER - any place which receives at any one time, for compensation, 4 or more children for care and supervision for less than 24 hours a day without the attendance of a parent, relative, or legal guardian. All such facilities shall comply with HHS Chapter 55; ILHR Chapter 60, and all other applicable municipal or state codes.

- a) *Family Day Care Center - a center where care and supervision is provided for 4 to 8 children regardless of age.*

- b) *Large Group Day Care Center - a center that provides care and supervision for more than 8 children regardless of age.*

Ch. 23.02(3)(b)

(3) *Conditional Uses*

(k) *Large group day care centers*

The following discusses how the proposed day care use meets the fourteen review standards for issuing a conditional use permit.



Exhibit A: Existing Building Layout



Exhibit B: Proposed Building Layout

Standards of Review – Site Plan Review

1. The establishment, maintenance, or operation of the use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

Analysis: The proposed day care use will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare. Not only is a conditional use permit required for this request, but additional state and federal regulations also do apply. Specifically, Chapter 55 of the State Health and Human Services Code, Chapter 60 of the Industry, Labor and Human Relations Code and other regulations from the Wisconsin Department of Safety and Professional Services will apply. Additionally, other day care centers are located in the

near vicinity of the subject property (e.g., Little Scholars Child Care, Community Child Care Center, etc.). With other day care centers nearby, it is consistent with the City's development pattern of having larger day care facilities within the City's commercial and industrial zoning districts.

Findings: Under the proposed conditional use permit, the applicant is seeking to allow for a day care use to operate within the subject property. With the existing building meeting most setback requirements of the "M-2" Heavy Industrial District, staff believes that this separation will not be detrimental to, or endanger the public health, safety, morals, comfort, or general welfare.

Lot Line	M-2 District Minimum Setback Requirements	Existing Setbacks
<i>Street</i>	40 feet	152 feet from Industrial Park Road, 24 feet from Leahy Avenue
<i>Side</i>	20 feet. 30 feet is required for parcels directly abutting residential zoned lots.	173 feet
<i>Rear</i>	20 feet	340 feet

- The use will not be injurious to the use and for the purpose already permitted, nor substantially diminish and impair property values.**

Analysis: Day care centers are prevalent within other commercial and industrial zoning lots in the city. As stated above, day care centers providing care and supervision for 4-8 children are a permitted use within most zoning districts. Day care centers providing care and supervision for more than eight children are a conditional use within the "M-2" Heavy Industrial District and a permitted use within the R-4, R-5 and all commercial zoning districts.

Findings: The applicant would still be required to meet applicable state and federal regulations for operating a day care facility. Additionally, any interior building work will require a review for compliance with the Wisconsin Building Code. Therefore, the use should not be injurious to the use and for the purpose already permitted.

- The establishment of the use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.**

Analysis: The respective area is in an established and developed area of the City, with larger day care centers operating within lots zoned for commercial or industrial uses.

Findings: See standards one and two above. The proposed use will not impede on the normal and orderly development and improvement of the surrounding area.

- The exterior architectural appeal and function plan of any proposed structure will not be variance with either the exterior architectural appeal and function plan, and scale of the structures already constructed or in the course of construction in the immediate neighborhood or in the character of the applicable district so as to result in a substantial or undue adverse effect on the neighborhood.**

Analysis: No exterior improvements to the building is planned. The building is of a simple design with metal sandwich panels representing the façade of the 24,000 sq ft building.

Findings: The exterior architectural appeal of the building is consistent for uses allowed within the City’s industrial district. If any exterior work is proposed in the future, it shall meet applicable building code requirements.

5. Adequate utilities, access roads, drainage and/or facilities have been, or are being, provided.

Analysis: The access points into the property – one off of Industrial Park Road and two off of Leahy Avenue. Based on its location, it meets the minimum 150’ separation between any two driveways and is at least 50’ away from the intersection of Industrial Park Road and Leahy Avenue. Utilities currently exist to support the building and can handle any additional utility needs as part of the proposed use. Although a large parking lot exists on the subject property (roughly 52,000 sq ft), existing terminal landscaped islands in the parking lot and the size of the subject property (4.949 acres) should allow for appropriate drainage within the lot. Please note that the parking lot is not striped. As a condition onto this request, the applicant would be required to stripe the parking area adjacent to the day care center meeting applicable parking standards.

Findings: This standard is met.

6. Adequate measures have been, or will be taken, to provide ingress and egress so designed to minimize traffic congestion in the public streets.

Analysis: The three existing driveways meet the minimum width requirements for non-residential driveways (nine feet) and does not exceed the number of driveways allowed for the property (maximum of four). With day care clients able to enter and exist off of two different streets, both Industrial Park Road and Leahy Avenue should be able to handle additional traffic expected.

Findings: This standard is met.

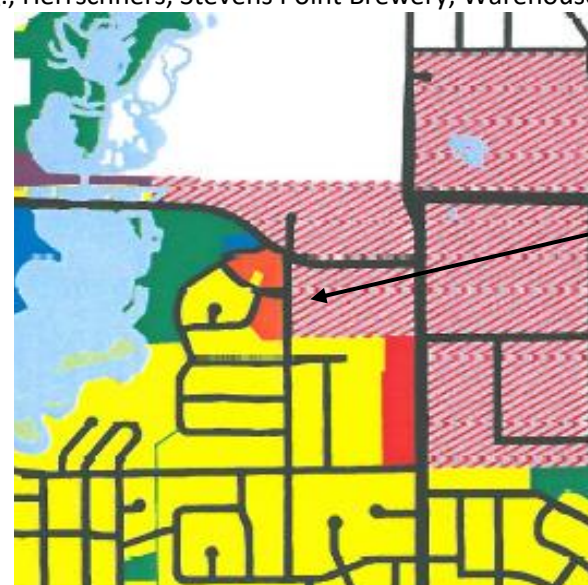
7. The proposed use is not contrary to the objectives of any duly adopted land use plan for the City of Stevens Point and any of its components.

Analysis: The City’s 2005 Comprehensive Plan Future Land Use Map has identified this property as part of the Business Park District. The Comprehensive Plan defines the Business Park District as an area that “provides for industrial, commercial and residential development in a ‘campus’ like setting.” With other industrial and commercial uses near the subject property (e.g., Herrschners, Stevens Point Brewery, Warehouse Specialists, etc.), staff believes

that allowing for a day care uses meets the intent of a ‘campus-like’ commercial and industrial region.

The subject property is also zoned “M-2” Heavy Industrial. According to the City’s Zoning Code, the “M-2” District is

Future Land Use



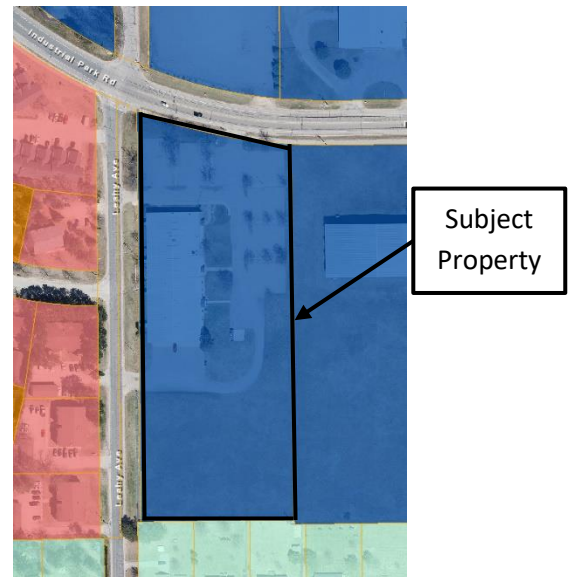
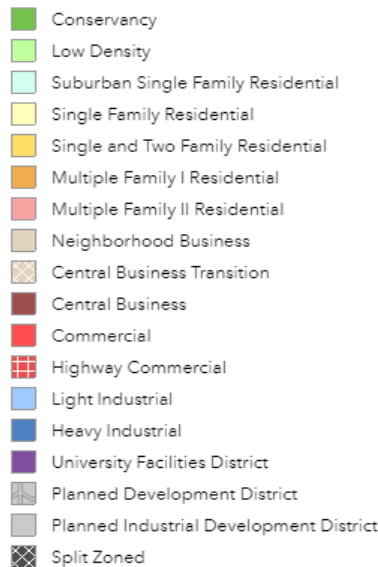
Subject Property

established “to provide for those manufacturing or other industrial uses having more obnoxious or nuisance effects than the "M-1" Light Industrial District and having a greater intensity of manufacturing, processing, employment, traffic and other related activities. It is intended that the "M-2" district generally be located distant from non-manufacturing uses: that it be buffered by the "M-1" district or by major highways, rivers, open space, or high intensity commercial uses, and that all "M-2" districts be located consistent with the City's Comprehensive Plan.”

Findings: The proposed use meets the intent of the “M-2” District as day care uses are expected to incur a larger traffic load than other commercial uses. While the applicant has not determined the maximum number of children who will be under supervision at any one time, additional traffic is expected. By allowing for a day care use, it is consistent with the intent of the “M-2” District in that the lot is separated by other non-manufacturing uses by roadways and other more-intense uses (e.g., Leahy Avenue separating the subject property from lower-density single-family uses to the west).

8. **The use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be modified pursuant to the recommendations of the Plan Commission.**

Analysis: The lot currently exists and has historically housed other commercial and industrial uses. The conditional use permit is asking to allow a day care center to be located within the property.



Findings: The regulations of the district are met for the proposed use provided that the conditional use permit is approved and the applicant meets the requirements from other state and federal agencies.

9. **The proposal will not result in an over-concentration of high density living facilities in one area so as to result in a substantial or undue adverse effect on the neighborhood, on the school system, and the social and protective systems of the community.**

Analysis: N/A

Findings: N/A

10. **Principal – Applications for exclusive multi-family residential uses: The view from the street should maintain a residential character. The view should not be dominated by the building and not by garages, parking, mechanical equipment, garbage containers, or other storage.**

Analysis: N/A

Findings: N/A

11. Access to the site shall be safe.

Analysis: Vehicular access exists off of Industrial Park Road and Leahy Avenue. Pedestrian and bicycle also exists off of Industrial Park Road.

Findings: With the subject property abutting two streets, staff believes that access to the site is adequate.

12. There shall be adequate utilities to serve the site.

- a. The Public Works Director, Police Chief and Fire Chief shall determine whether there is adequate sanitary sewer, portable water, storm drainage, street capacity, emergency access, public protection services, and other utilities to serve the proposed development. They shall review the plan to ensure safety and access for safety vehicles.**

Analysis: The lot currently exists with utilities serving the site.

Findings: Additional utility needs to support the proposed use is expected to be minimal and can be supported within the existing utility network.

13. The privacy of the neighboring development and the proposed development shall be maintained as much as practical. Guidelines:

- a. Mechanical equipment including refuse storage shall be screened from neighboring properties.**

Analysis: Refuse storage has historically been located near the southeast corner of the building.

Findings: Fencing or other screening mechanisms shall be installed around the dumpster location to shield it from public view.

- b. Lighting shall be located to minimize intrusion onto neighboring properties.**

Analysis: Light poles exist within constructed terminal islands and light fixtures exist on the building.

Findings: Outside of additional lighting that would permeate from windows, it should not have an impact on surrounding properties. If additional lighting is planned for the proposed playground, it shall be reviewed and approved by City staff prior to installation.

- c. Sources of noise shall be located in a manner that minimizes impact to neighboring properties.**

Analysis: The use will be operating within the confines of the building and property.

Findings: The use should not create excessive noise.

- 14. Principal – Applications for exclusive multi-family residential uses. Landscaping shall be provided or existing landscape elements shall be preserved to maintain a sense of residential character, define boundaries, and to enhance the sense of enclosure and privacy.**

Analysis: N/A

Findings: N/A

Based on the findings above, staff would recommend approval of the conditional use permit with the conditions outlined on page one. Please keep in mind that recent State legislation has placed limitations on local jurisdictions regarding the denial of conditional use permits. Conditional use permits shall be reviewed by a means to permit a use under certain conditions applied to the use or property. For example, if a concern is raised regarding to a standard above, a condition can be applied to the permit to address the concern and grant the permit.

Photos







APPLICATION FOR A CONDITIONAL USE PERMIT

(Pre-Application Conference Required)

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted	8/2/21	Fee Required		Fee Paid	
Associated Applications if Any				Assigned Case Manager			
Pre-Application Conference Date				Conditional Use Permit Request	Use ☐	Amend ☐	

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? ☒)	
Applicant Name	Ronald D Walters & 501C3 TBD	Contact Name	
Address	2308 Minnesota Ave	Address	
City, State, Zip	Stevens Point, WI 54481	City, State, Zip	
Telephone	715-252-2132	Telephone	
Fax		Fax	
Email	ron@getsecurityplus.com	Email	

OWNERSHIP INFORMATION

PROPERTY OWNER 1 INFORMATION (Same as Applicant? ☒)		PROPERTY OWNER 2 INFORMATION (If Needed)	
Owner's Name		Owner's Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
4701 Industrial Park Rd		
Legal Description of Subject Property		
Designated Future Land Use Category		Current Use of Property
Meeting Facility		Meeting Facility
Explain the land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)		
Meeting Facility and Daycare		

How will the proposed development reinforce the existing or planned character of the neighborhood? (Use additional pages if necessary)

Outline steps that will be taken to reduce any negative impacts on adjacent property. (Use additional pages if necessary)

Current Zoning Surrounding Subject Property

North:		South:	
East:		West:	

Current Land Use Surrounding Subject Property

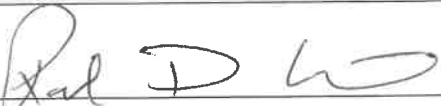
North:		South:	
East:		West:	

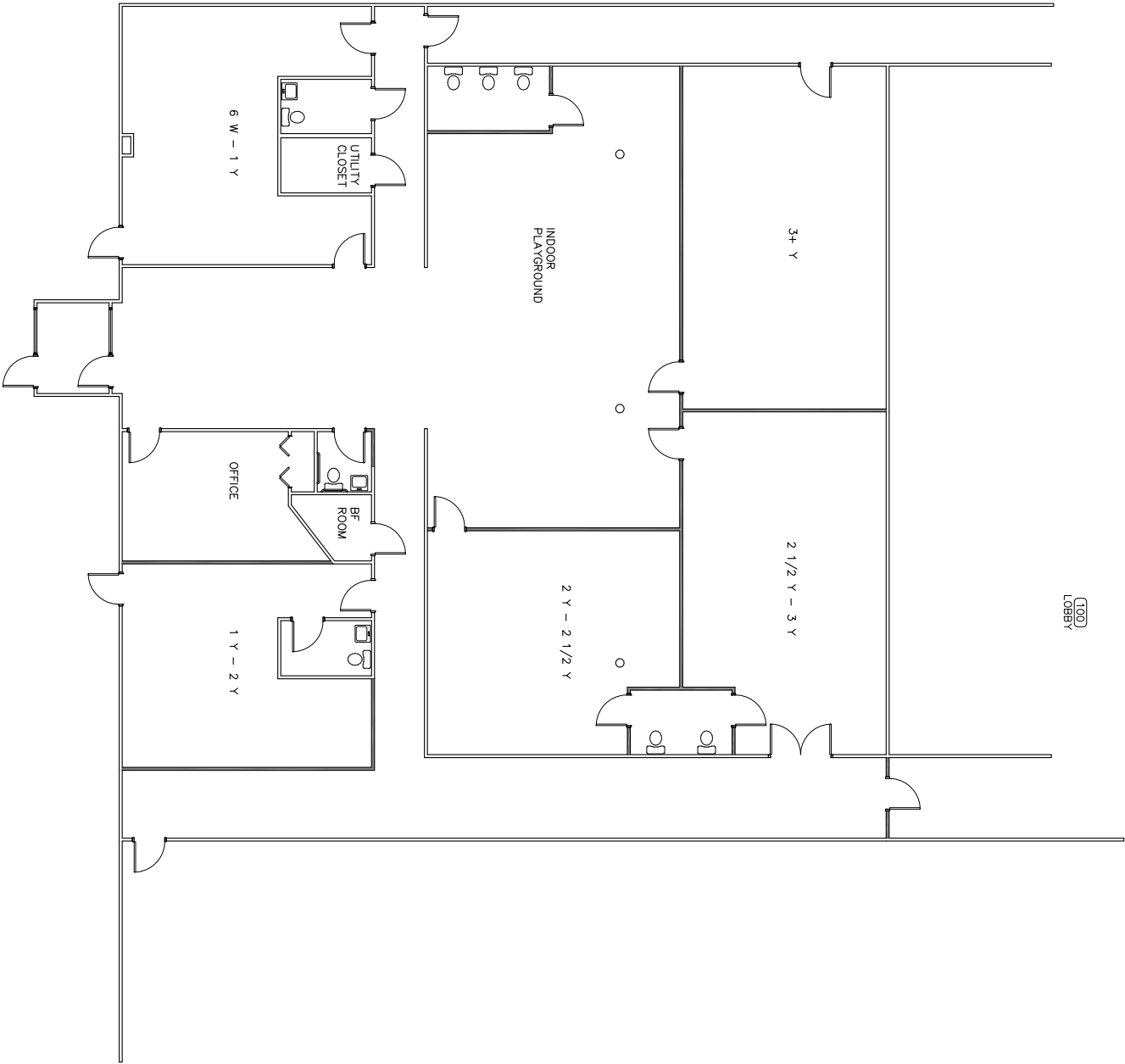
EXHIBITS

Owner Information Sheet	☐	Additional Exhibits If Any:
Letter to District Alderperson	☐	
Maps (vicinity, zoning, floodplains, wetlands others as requested by staff)	☐	
Site Plan (designating primary, side, and service street frontages)	☐	
Building Elevations	☐	
Parking Plan (Location, number of spaces, reductions, and design and landscaping)	☐	
Street Plan with Cross-sections	☐	
Utility Plan	☐	
Landscape Plan (including any equivalent alternative landscaping requests)	☐	
Stormwater Plan	☐	
Outdoor Lighting Plan (location of fixtures, illumination levels)	☐	

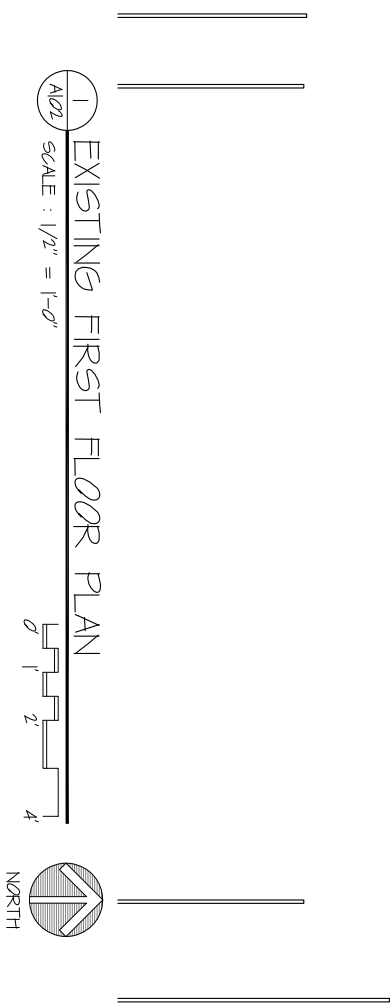
CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner(s)	Date
	8/2/21		8/2/21



EXISTING PLAN
&
DEMOLITION PLAN



NEW PARTITION
EXISTING PARTITION TO REMAIN
TO BE DEMOLISHED

Administrative Staff Report

Driveway Exception

517 Indiana Avenue

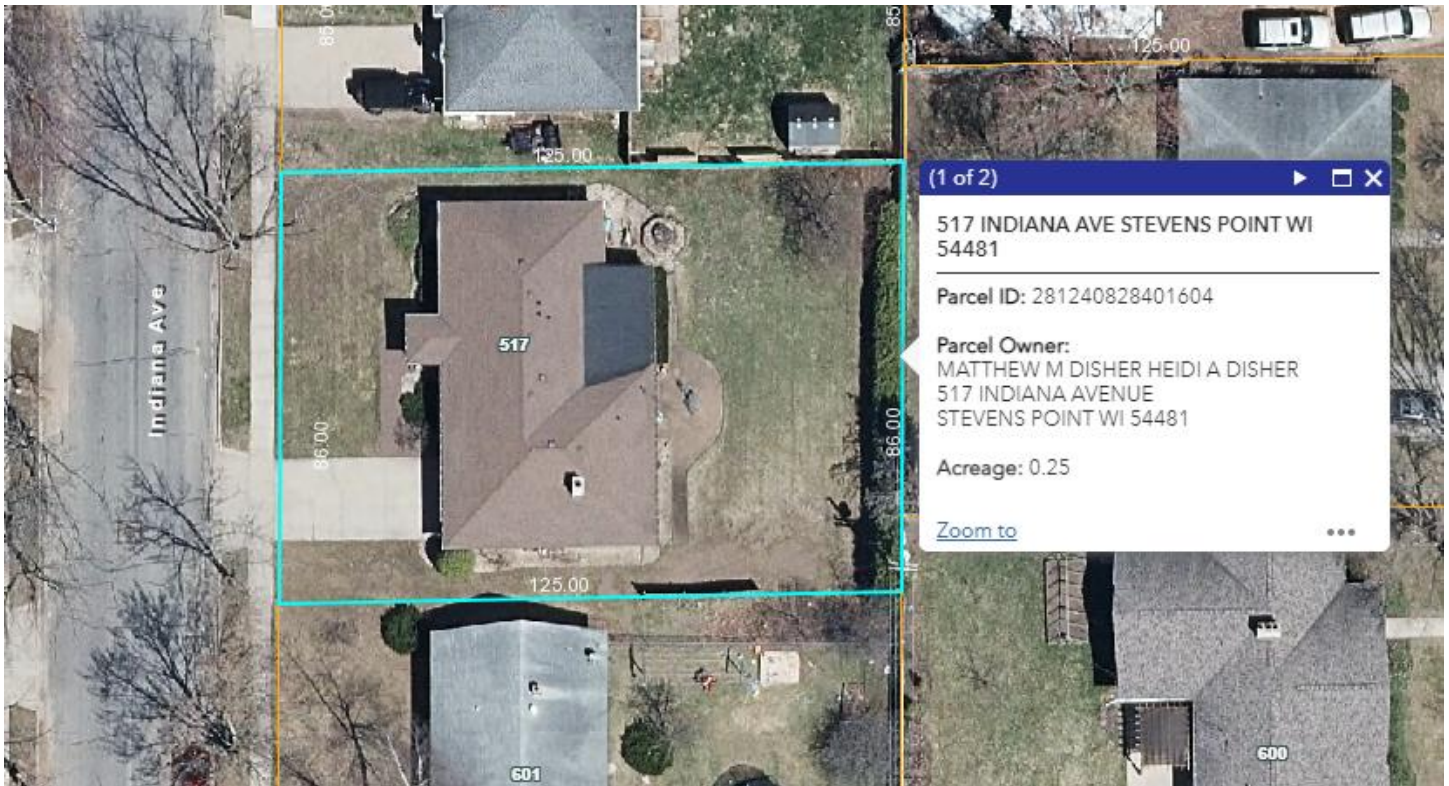
September 7, 2021



Department of Community
Development

Applicant(s): • Matt Disher Staff: • Ryan Kernosky, Director rkernosky@stevenspoint.com • Adam Kuhn, Associate Planner akuhn@stevenspoint.com Parcel Number(s): • 281240828401604 Zone(s): • "R-2" Single-Family Residential Master Plan: • Single-Family Residential Council District: • District 8 Ald. Leek Lot Information: • Frontage: 86 ft. • Depth: 125 ft. • Lot Size: 10,750 sq. ft. (0.247 ac.) Current Use: • Single-Family Residence Applicable Regulations: • 23.01(15)(i)(3)(k)	Request 1. A request from Matt Disher for an exception to driveway requirements at 517 Indiana Avenue (Parcel ID 281240828401604), consistent with Ch. 23.01(15)(i)(3)(k) Attachment(s) 1. Application 2. Plans Findings of Fact 1. The applicant has submitted a building permit application to resurface and expand an existing driveway on the subject property. 2. Submitted plans show the proposed driveway to be 27 feet at the lot line and extend seven feet beyond the plane of the attached garage. 3. Driveways are required to be no wider than 24 feet at the lot line. 4. Driveways are allowed to extend beyond the plane of the garage on either side at a maximum width of three feet total. 5. In cases where unusual topographical, aesthetic, or other exceptional conditionals or circumstances exist, exceptions to driveway requirements shall be approved by the Plan Commission and Common Council. Staff Recommendation Deny the driveway exception request to reconstruct a driveway at 517 Indiana Avenue (Parcel ID 281240828401604) for the following reasons: 1. A literal application of the Zoning Code would not result in a practical difficulty or unnecessary hardship to the property. 2. Unique conditions to the subject property do not exist that would render a hardship caused to the applicant under a literal interpretation of the Zoning Code.
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Vicinity Map



Background

Overview: On August 19th, the applicant submitted a building permit application to reconstruct an existing driveway at 517 Indiana Avenue. Please note that a sidewalk leading from the expanded driveway to a proposed patio in the rear of the house was included as part of the request and meet applicable provisions of the Zoning Code. The following depicts the proposed driveway expansion along with key findings.

- Concrete is the planned surfacing material for the driveway.
- The driveway is proposed to be widened one foot to the north to align with where the attached garage meets the house.
- The driveway is proposed to be widened nine feet to the south. Please note that the first two feet would align with the front plane of the garage, while the remaining seven feet would extend beyond the garage plane.
- The driveway is 27 feet wide at the property line.
- A three-foot side yard setback is proposed from the southern lot line.



After review of the building permit application, City staff denied the request for the following reasons:

1. The proposed driveway is too wide at the street lot line. Chapter 23.01(15)(i)(3)(f)(i)(2) states that “driveways leading to garages are limited to a 24-foot maximum width at the lot line.”
2. The proposed driveway would extend too far beyond the front plane of the garage. Chapter 23.01(15)(i)(3)(e)(iv) states that “driveways leading to attached garages shall meet the side yard setback for principal structures or shall meet the side yard setbacks of the existing attached garage.” As the attached garage is set back 12.5 feet from the side yard lot line, the driveway would also need to be set back 12.5 feet from the side yard lot line. Please note that the ‘vehicle access area designation’ – a clause within the City’s Zoning Code that allows driveways to exist a maximum of three feet beyond the plane of the garage – has been factored into this determination. Even with the ‘vehicle access area designation’ in effect, the proposed driveway extends four feet beyond what is allowed in the Zoning Code.

<i>Driveway Feature</i>	<i>Code Requirement</i>	<i>Proposal (Findings)</i>
<i>Driveway width at the street right-of-way</i>	Maximum 24 feet	27 feet wide at the lot line
<i>A driveway’s alignment with an existing attached garage</i>	Driveways may not extend more than three feet total beyond the plane of the garage	The driveway would extend seven feet beyond the front plane of the garage

Similar to other lot improvements, the Zoning Code allows for applicants to seek exceptions to driveway requirements if key review standards are met. While these review standards are identical to variance standards brought before the Zoning Board of Appeals, individuals seeking a driveway exception may present their request before the Plan Commission and Common Council for consideration via a Site Plan Review. The following outlines the requirements to reviewing exceptions to driveway requirements.

Ch. 23.01(15)(i)(3)

(k) Exceptions to Requirements

In cases where unusual topographical, aesthetic, or other exceptional conditions or circumstances exist, variations or exceptions to the requirements of this section may be approved by the Plan Commission. Exceptions shall meet the following criteria:

- A literal application of the Ordinance would result in a demonstrated practical difficulty or unnecessary hardship to the property.*
- The granting of the requested exception would not be materially detrimental to the property owners in the vicinity.*
- Hardship caused to the property owner under a literal interpretation of the Ordinance is due to conditions unique to that property and does not apply generally to the city.*
- The granting of the exceptions would not be contrary to the general objectives of this Ordinance.*

City staff have reviewed the request subject to the review standards listed above. The following section outlines staff findings.

Standards of Review – Driveway Exception

1. A literal application of the Ordinance would result in a demonstrated practical difficulty or unnecessary hardship to the property.

Analysis: A two-stall attached garage exists on the subject property. According to the applicant, the request for an exception to driveway requirements is to allow for three vehicles to be parked amongst the driveway and garage. Additional vehicles are planned to be located on the property in the future, thus requiring the need for additional driveway area.

Findings: Typically, driveways mirror the width of the garages that they service. In this case, the two-stall attached garage measures 20 feet wide by 24 feet deep. With the existing driveway expanded to match the 20-foot width of the garage, two vehicles could park within the garage and another two vehicles could park on the driveway.

Additionally, other options exist to allow for additional parking space on the property. The image to the right depicts a driveway expansion that would meet applicable driveway requirements. The following outlines key features of this potential expansion:



- The driveway is widened one foot to the north to align with where the attached garage meets the house. Extending the driveway one foot would result in a driveway width of 24 feet at the lot line.
- A taper is constructed approximately five feet in from the lot line to allow for the driveway to expand beyond 24 feet. Within the front yard setback (first 25 feet of the property off of Indiana Avenue), the driveway may not exceed 36 feet in width. For this example, the driveway would be 26 feet wide within the front setback.
- A side yard setback of three feet is provided. As the subject property exceeds 50 feet in width, a minimum three-foot side yard setback is required for driveways.
- Ch. 23.01(15)(i)(3)(i)(viii) allows interior lots to have one parking stall located alongside a garage when said stall is not between the building and the street. Additionally, the parking stall would need to maintain a minimum three-foot setback from the side lot line. While a typical parking stall (nine feet wide by 18 feet long) would not meet the minimum three-foot side yard setback, the City's Zoning Code allows for compact vehicle spaces to be constructed at a minimum width of seven feet six inches and a width of 15 feet. With 10.5 feet of separation exists between the attached garage and the southern lot line, sufficient room exists to provide a parking stall that is 7.5 feet wide while still maintaining a three-foot setback.

Likewise, the City's Zoning Code allows for driveways to extend a maximum of three feet total beyond the plane of the garage provided that other driveway requirements are met (e.g., side yard setback, surfacing material etc.). By

using this clause, the applicant could extend the current driveway width by six feet provided that a taper is constructed.

Based on the applicant’s statement as to why an unnecessary hardship exists, along with options to widen the driveway while meeting current driveway requirements, staff believes that a practical difficulty or unnecessary hardship does not exist.

2. The granting of the requested exception would not be materially detrimental to the property owners in the vicinity.

Analysis: In 2018 and 2019, the City’s Zoning Code was significantly amended to include additional requirements regarding driveway width, location and setback requirements. As a result, there are several driveways near the subject property that do not conform to current driveway standards.

Findings: Given the lot dimensions and layout of the primary structure, the proposed driveway is unlikely to be materially detrimental to property owners. With the requested exceptions, the applicant would still maintain the required three-foot side yard setback from the neighboring property. Additionally, City staff have not received code enforcement

cases regarding the use of non-conforming driveways near the subject property. As will be discussed further in the fourth review standard, the granting of this request may set a precedent for similar requests unless specific reasonings are noted.

- Conservancy
- Low Density
- Suburban Single Family Residential
- Single Family Residential
- Single and Two Family Residential
- Multiple Family I Residential
- Multiple Family II Residential
- Neighborhood Business
- Central Business Transition
- Central Business
- Commercial
- Highway Commercial
- Light Industrial
- Heavy Industrial
- University Facilities District
- Planned Development District
- Planned Industrial Development District
- Split Zoned



3. Hardship caused to the property owner under a literal interpretation of the Ordinance is due to conditions unique to that property and does not apply generally to the city.

Analysis: The subject property has 86 feet of street frontage and exceeds the minimum lot width requirement (i.e., 60 feet) for properties zoned “R-2” Single Family. A minimum lot size of 8,000 sq ft is needed for single-family residences within the “R-2” District. The subject property is approximately 10,750 sq ft in size. Additionally, the primary structure meets the minimum setback requirements as outlined below.

Lot Line	Minimum Setback Requirement	Findings
Street	25 feet	33 feet
Side	Total of 20 feet with one side not less than eight feet	7' 6" from northern lot line, 10' 6" from southern lot line
Rear	20% of lot depth (minimum of 15 feet and not to exceed 30 feet)	50 feet

Findings: The property is not a substandard lot and meets minimum width, lot size and setback requirements. With there being other ways to expand the driveway while meeting code requirements (as addressed above), staff does not believe that there are unique conditions to the property that would result in a hardship caused to the applicant.

4. The granting of the exceptions would not be contrary to the general objectives of this Ordinance.

Analysis: The purpose of this ordinance is to promote the health, safety, morals, prosperity, aesthetics and general welfare of this community. It is the general intent of this ordinance to regulate and restrict the use of all structures, lands and waters; regulate and restrict lot coverage, population distribution and density, and the size and location of all structures so as to: lessen congestion in and promote the safety and efficiency of the streets and highways; secure safety from fire, flooding, panic and other dangers; provide adequate light, air, sanitation and drainage; percent over-crowding; avoid undue population concentration; facilitate the adequate provision of public facilities and utilities; stabilize and protect property values; further the appropriate use of land and conservation of natural resources; preserve and promote the beauty of the community; and implement the community's comprehensive plan or plan components. It is further intended to provide for the administration and enforcement of this ordinance and to provide penalties for its violation.

Findings: Driveway standards exist, in part, to “regulate and restrict lot coverage.” By allowing the requested driveway deviations, it would create another driveway that does not conform to present Zoning Code standards. Unlike how it is the intent of the Zoning Code “to permit the continuance of nonconforming premises and uses, but not to encourage their survival,” nonconforming driveways are permitted to be reconstructed and resurfaced as a like-for-like improvement. Therefore, permitting exceptions to the City’s driveway ordinance is more likely to encourage the survival of the requested driveway as it would be allowed to be resurfaced like-for-like as the Zoning Code is currently written.

Additionally, driveway standards exist to ensure that impervious surfacing on a private lot does not result in stormwater management concerns, problems with City infrastructure and ensure safe access exists on City streets. Access to Indiana Avenue and stormwater runoff is not likely to be negatively impacted by granting the exception.

Based on the review standards above, City staff does not believe that an unnecessary hardship exists as the Zoning Code provides opportunities to expand the driveway while not seeking code exceptions. Likewise, the property does not appear to have unique standards that would prohibit the construction of a driveway that meets existing requirements. Any hardship claimed by the applicant appears to stem from a desire for a larger driveway. Therefore, staff would recommend denying the exception.

Site Photos





City of Stevens Point
Community Development Department

1515 Strongs Avenue, Stevens Point, WI 54481
P: (715) 346-1567 F: (715) 346-1498
communitydevelopment@stevenspoint.com
<http://stevenspoint.com>

APPLICATION FOR A SITE PLAN REVIEW

(Pre-Application Conference is Required for Major and Minor Site Plan Reviews)

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted		Fee Required		Fee Paid	
Associated Applications (if any)				Assigned Case Manager			
Pre-Application Conference Date				Minor Site Plan	☐	Major Site Plan	☐

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? ☒)	
Applicant Name	Matthew and Heidi Disher	Contact Name	
Address	517 Indiana Avenue	Address	
City, State, Zip	Stevens Point WI 54481	City, State, Zip	
Telephone	715-340-8846	Telephone	
Fax		Fax	
Email	matt@dishins.com	Email	

OWNERSHIP INFORMATION

PROPERTY OWNER OF RECORD 1 INFORMATION (Same as Applicant? ☒)		PROPERTY OWNER OF RECORD 2 INFORMATION (If Needed)	
Owner's Name		Owner's Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
517 Indiana Avenue		
Legal Description of Subject Property		
Area of Subject Property (Acres/Sq Ft)		
10,750 sqft / .247 acres		
Current Zoning District(s)		
R2 Single Family		

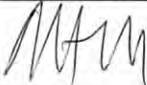
Designated Future Land Use Category	Current Use of Property	Proposed Use of Property
	Single Family Residential	Single Family Residential
Describe land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)		
I would like to expand my driveway beyond the current zoning limits. I currently have 3 vehicles and what is listed as a 2 car garage, however, I cannot fit 2 cars in the garage. I would like to expand the driveway to accomodate 3 vehicles in the driveway without having to move them around and to keep from parking on my grass. Looking to the greater future, we have 2 children that will be driving someday.. I have spoke with neighbors directly next to me and they have agreed with what I would like to do with my driveway. Please see attached Pictures with dimensions. (Orange Line is proposed, white line is current zoning regulations.)		
Current Zoning Surrounding Subject Property		
North:	R2 Single Family	South: R2 Single Family
East:	R2 Single Family	West: R2 Single Family
Current Land Use Surrounding Subject Property		
North:	Single Family Residential	South: Single Family Residential
East:	Single Family Residential	West: Single Family Residential

EXHIBITS

Owner Information Sheet	☐	Additional Exhibits If Any (List): <i>Residential Permit Application</i>
Letter to District Alderperson	☒	
Maps (vicinity, zoning, floodplains, wetlands others as requested by staff)	☒	
Site Plan (designating primary, side, and service street frontages)	☒	
Building Elevations	☐	
Parking Plan (Location, number of spaces, reductions, and design and landscaping)	☐	
Street Plan with Cross-sections	☐	
Utility Plan	☐	
Landscape Plan (including any equivalent alternative landscaping requests)	☐	
Stormwater Plan	☐	
Outdoor Lighting Plan (location of fixtures, illumination levels)	☐	

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

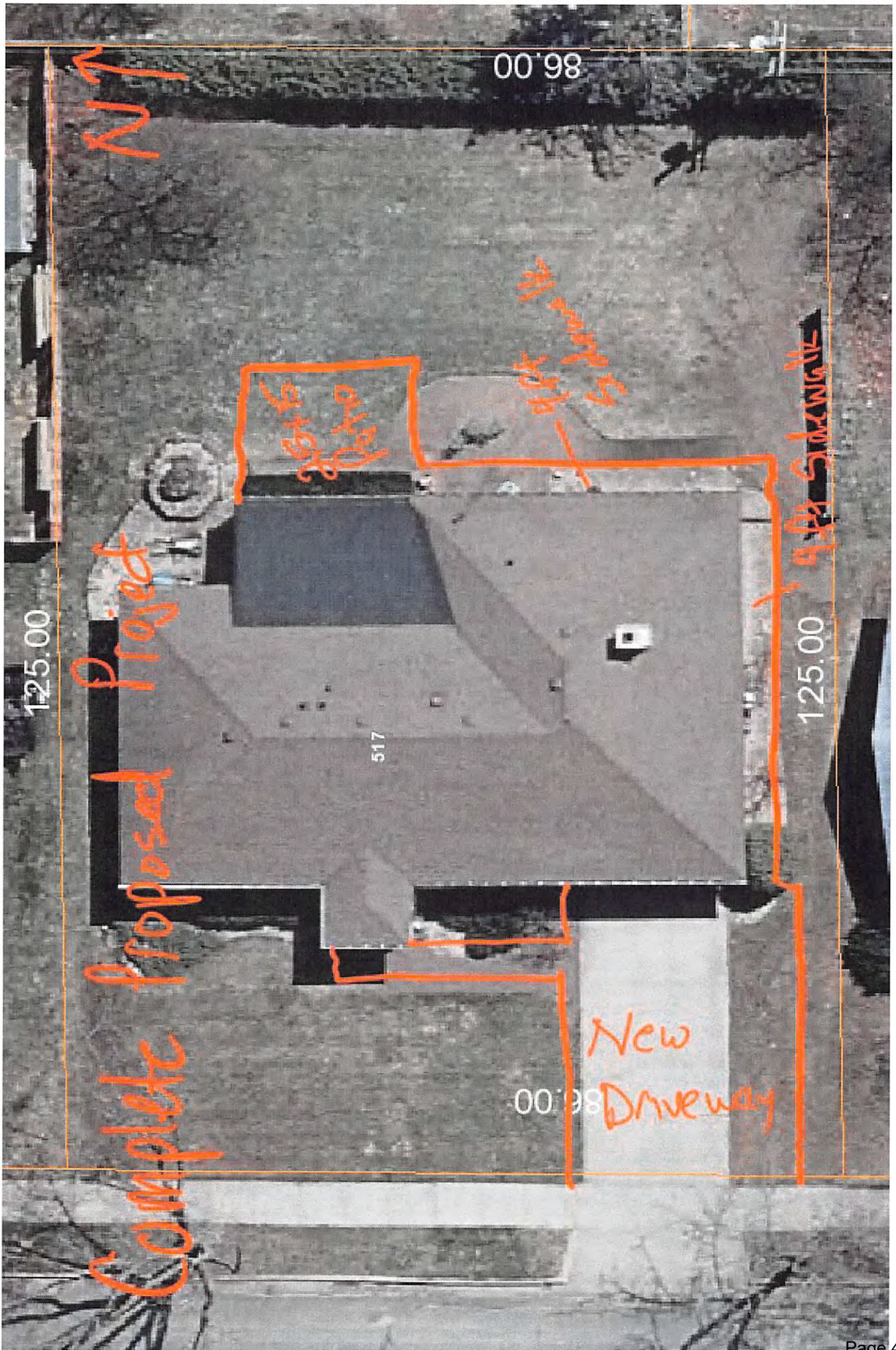
Signature of Applicant	Date	Signature of Property Owner(s)	Date
	8-18-21		8-18-21

Matt Disher

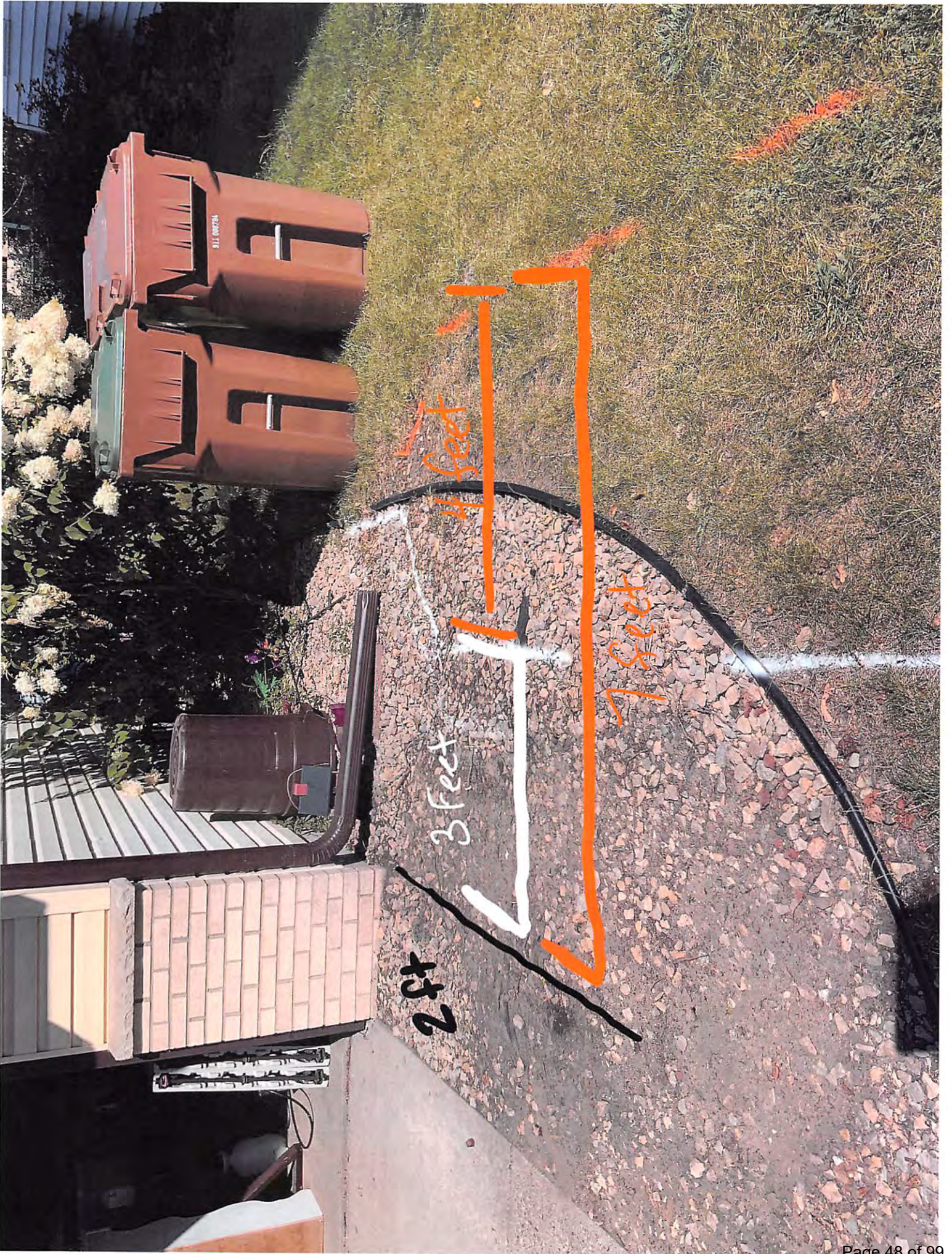
From: noreply@civicplus.com
Sent: Wednesday, August 18, 2021 3:14 PM
To: Matt Disher
Subject: Online Form Submittal: Contact Alderperson - District 8

Contact Alderperson - District 8

First and Last Name:	Matthew Disher
Street Address:	517 Indiana Avenue
City	Stevens Point (change City, State, and/or Zip as needed)
State:	WI
Zip:	54481
Phone Number:	715-340-8846
Email Address:	matt@dishins.com
Please enter your questions or comments below:	Alder Leek, Thank you for taking the time to discuss my driveway concern with me today. I will file the necessary paperwork and should be able to get on the September 7th planning commission meeting. Thanks Again! Matt Disher









TAX PARCEL #: _____ PERMIT #: _____
RECEIPT #: _____ ZONING: _____

OFFICE USE ONLY ABOVE LINE

RESIDENTIAL PERMIT APPLICATION

CITY OF STEVENS POINT INSPECTION DEPT. | 1515 STRONGS AVE, STEVENS POINT, WI 54481 | 715-346-1567

DATE 8/18/2021 OWNER PHONE #: 715-340-8846 OWNER EMAIL: matt@dishins.com
PROPERTY OWNER: Matthew & Heidi Disher OWNER ADDRESS: 517 Indiana Avenue
SITE ADDRESS: 517 Indiana Avenue UNIT: _____ TENANT: _____

BUILDING Cost (Labor & materials): \$10,000 Permit Fee: _____
& **ZONING** Park Fee: _____ Review Fee: _____ Zoning Fee: _____
Work Details: (☒ Replacement, ☒ New, ☐ Repair) Install Date: _____ or ☐ Emergency Install

Replace and Expand Driveway

Contractor: Self Tele #: _____ Mobile #: _____
Address: _____ Email: _____
Contractor Certificate No: _____ Exp: _____ Qualifier No: _____ Exp: _____

ELECTRICAL Cost (Labor & materials): _____ Review Fee: _____ Permit Fee: _____
Work Details: (☐ Replacement, ☐ New, ☐ Repair) Install Date: _____ or ☐ Emergency Install

Contractor: _____ Tele #: _____ Mobile #: _____
Address: _____ Email: _____
Electrical Contractor No: _____ Exp: _____ Master License No: _____ Exp: _____

PLUMBING Cost (Labor & materials): _____ Review Fee: _____ Permit Fee: _____
Work Details: (☐ Replacement, ☐ New, ☐ Repair) Install Date: _____ or ☐ Emergency Install

Contractor: _____ Tele #: _____ Mobile #: _____
Address: _____ Email: _____
Master License No.: _____ Exp: _____

HVAC Cost (Labor & materials): _____ Review Fee: _____ Permit Fee: _____
Work Details: (☐ Replacement, ☐ New, ☐ Repair) Install Date: _____ or ☐ Emergency Install

Contractor: _____ Tele #: _____ Mobile #: _____
Address: _____ Email: _____
HVAC Contractor No: _____ Exp: _____ Qualifier No: _____ Exp: _____

Total Cost of Project: _____ Total Fees: _____

The applicant agrees to comply with the Wisconsin Uniform Dwelling Code, Wisconsin Commercial Building Code, Wisconsin Plumbing Code, National Electrical Code and other Municipal ordinances and with the conditions of this permit; understands that issuance of the permit creates no legal liability, express or implied, on the Department or Municipality; and certifies that all the above information is true and accurate. **Do not start work/enclose wall or ceiling until Building Inspector is notified. All inspections, including final, are required and must be requested by owner and/or applicant prior to occupancy.**

Print Name of Owner/Applicant: MATTHEW DISHER

Signature of Owner/Applicant: [Signature] Date: 8-18-21

PERMIT FEES ARE LOCATED ON THE REVERSE SIDE OF THIS APPLICATION

Administrative Staff Report

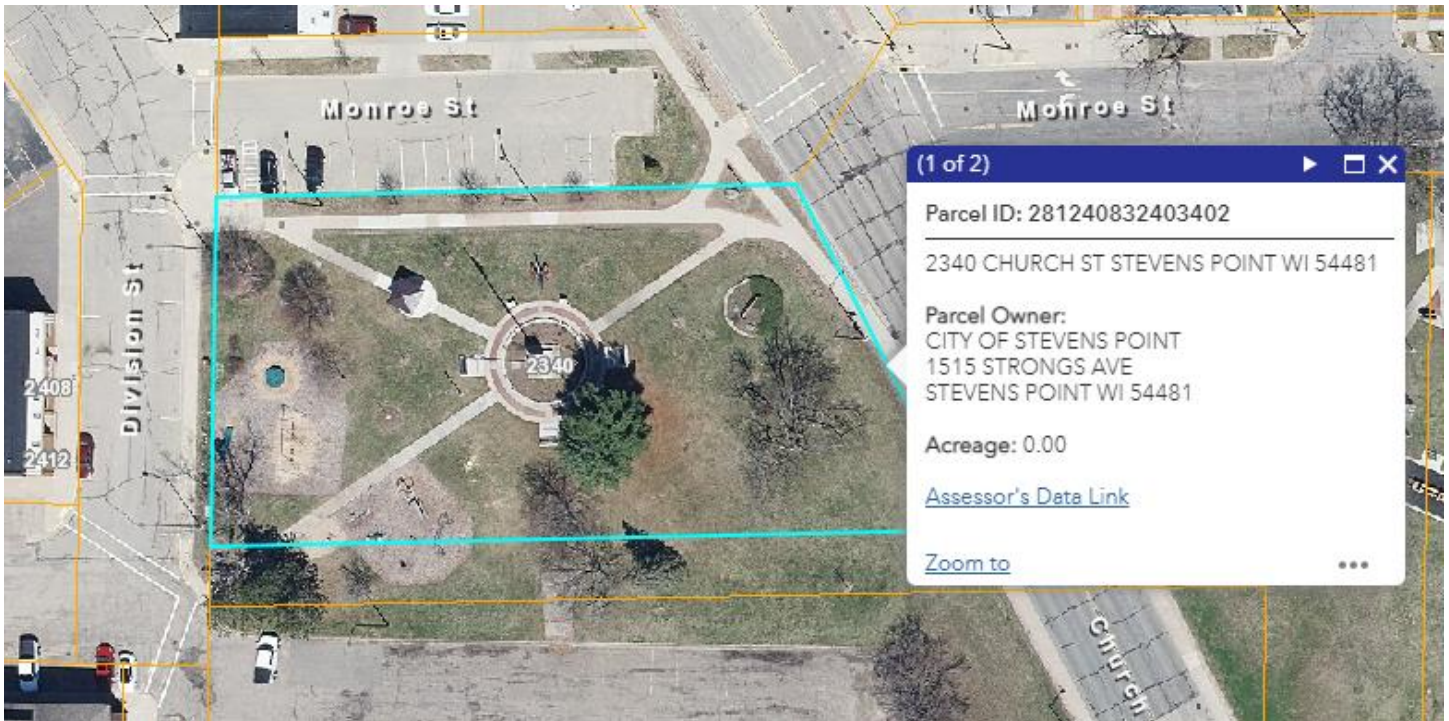
Install a Gazebo Veterans Memorial Park 2340 Church Street September 7, 2021



Department of Community
Development

Applicant(s): - City of Stevens Point Staff: - Ryan Kernosky, Director rkernosky@stevenspoint.com - Adam Kuhn, Associate Planner akuhn@stevenspoint.com Parcel Number(s): 281240832403402 Zone(s): "B-3" Central Business Master Plan: - Park Council District: - District 9 Ald. Dalton Lot Information: - Frontage: 498 ft. - Depth: 289 ft. - Lot Size: 33,294 sq. ft. Current Use: - Park Applicable Regulations: 23.01(11)	Request - A request from the City of Stevens Point for a Site Plan Review to install a gazebo at 2340 Church Street (Parcel ID 281240832403402), consistent with Ch. 23.01(11). Attachment(s) - Application - Plans Findings of Fact - The applicant is seeking to install a 136 sq ft gazebo within Veterans Memorial Park. - The gazebo is proposed to be located in the southern end of the parcel, at least ten feet off of the property line to maintain fire separation. - A sidewalk extension is planned to connect the gazebo with existing sidewalks in the property. - The subject property is zoned "B-3" Central Business District. - All public structures on City-owned parcels shall require approval by the Plan Commission and Common Council prior to construction. - The Plan Commission and Common Council may attach additional conditions on this Site Plan Review. Staff Recommendation Approve the Site Plan Review to install a gazebo at 2340 Church Street (Parcel ID 281240832403402), subject to the following conditions: - The gazebo shall be set back at least 10 feet from all property lines to adhere to fire separation requirements. - A building permit shall be obtained prior to the start of construction. - Staff shall have the ability to approve minor amendments to the site plan.
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Vicinity Map



Background

Overview: The applicant is requesting a Site Plan Review to install a 136 sq ft gazebo within Veterans Memorial Park that is 16 feet in height. According to the submitted site plan, the applicant is requesting to place the gazebo near the southern lot line. Please note that the southern lot line shown above is slightly skewed – the lot line should be shifted roughly 30 feet to the south. A sidewalk extension is planned to connect the gazebo to existing sidewalk infrastructure within the park.

The City's Zoning Code requires that the Plan Commission shall approve the construction of any public structure. Said requirement, also found within WI Stats. §62.23(5), states the following:

Ch. 23.01

(11) Recommendations as to public improvements.

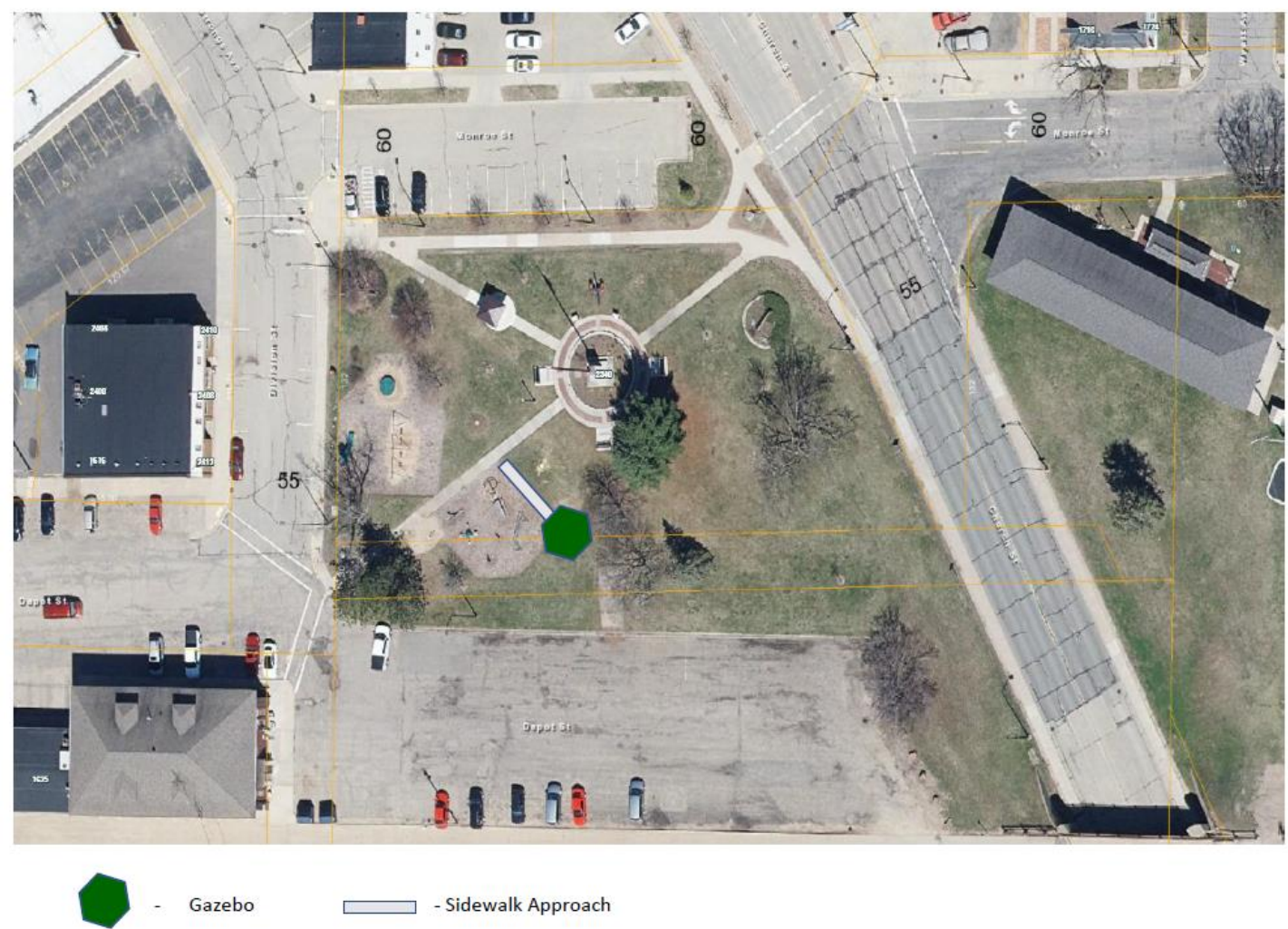
No statuary, memorial, or work of art in a public place, and no public building, bridge, viaduct, or public structure, shall be located or erected, or site therefore obtained, nor shall any permit be issued by any department of the City of Stevens Point, Wisconsin for the erection or location thereof, until and unless the design and proposed location of any such improvement shall have been submitted to the City Plan Commission and its recommendations thereon obtained. Such requirement for recommendations shall not act as a stay upon action for any such improvement where such commission after thirty days written notice requesting such recommendations shall have failed to file same.

WI Stats. §62.23

(5) Matters Referred to the City Plan Commission

The council, or other public body or officer of the city having final authority thereon, shall refer to the city plan commission, for its consideration and report before final action is taken by the council, public body or officer, the following matters: The location and architectural design of any public building; the location of any statue or other memorial; the location, acceptance, extension, alteration, vacation, abandonment, change of use, sale, acquisition of land for or lease of land for any street, alley or other public way, park, playground, airport, area for parking vehicles, or other memorial or public grounds; the location, extension, abandonment or authorization for any public utility whether publicly or privately owned; all plats of lands in the city or within the territory over which the city is given platting jurisdiction by ch. 236; the location, character and extent or acquisition, leasing or sale of lands for public or semipublic housing, slum clearance, relief of congestion, or vacation camps for children; and the amendment or repeal of any ordinance adopted pursuant to this section. Unless such report is made within 30 days, or such longer period as may be stipulated by the common council, the council or other public body or officer, may take final action without it.

The following section outlines key review standards of the proposed improvement.



Standards of Review

1. Density.

Analysis: Within the “B-3” Central Business District, parks are a permitted use on lots of at least 5,000 sq ft in size. As the subject property is 33,294 sq ft in size, the proposed gazebo will be located on a size of sufficient size.

Findings: This standard is met.

2. Building Height.

Analysis: The proposed structure is approximately 16 feet in height. The “B-3” District requires that principal structures not exceed 35 feet in height. For structures above 35 feet in height, a fire prevention system shall exist that is reviewed and approved by the City’s Fire Department. Accessory structures are permitted at a height not to exceed 15 feet in height (measured from grade to halfway up the end truss).

Findings: The proposed structure would have a lesser height than what is allowed within the “B-3” District.

3. Setbacks.

Analysis: A zero-foot street, side and rear setback is required for structures on a lot zoned “B-3” Central Business District. However, the Commercial Building Code would require the structure to be set back at least 10 feet from all property lines to maintain fire separation. As the intent of the gazebo is to be an open-air structure, it is the applicant’s intent to maintain a 10’ setback to avoid installing fire rated walls.

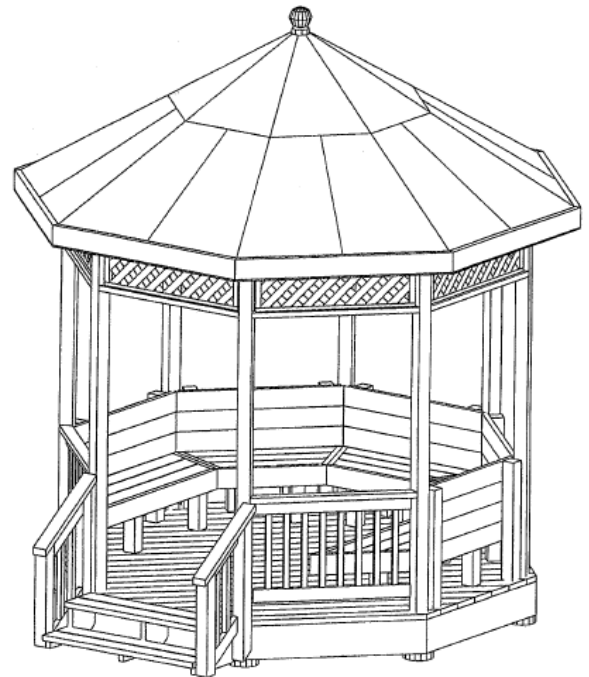
Findings: This standard meets Building and Zoning Code requirements provided a minimum 10’ setback is provided from all property lines.

4. Parking.

Analysis: Minimum parking requirements parks and open space uses are determined by the Plan Commission and Common Council. Given the size and intended use of the gazebo, the need for additional parking is expected to be minimal. Additionally, the subject property’s adjacency to Monroe Street, Division Street and Depot Street provides an adequate number of on-street parking options near Veterans Memorial Park.

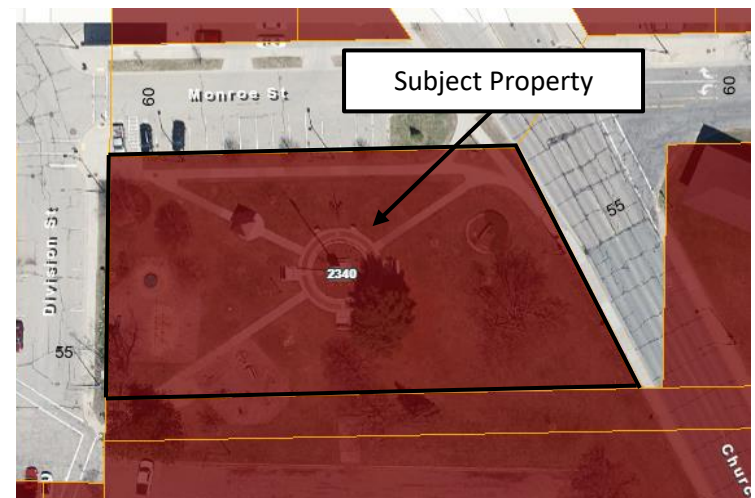
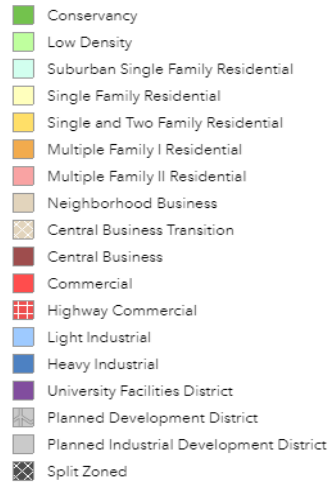
Findings: This standard is met.

5. Landscaping.



Analysis: Additional landscaping is not proposed.

Findings: As identified in the City's 2005 Comprehensive Plan, one objective to meet recreation and open space goals is "to emphasize natural beauty and resources in the planning and development of parks and open spaces, to provide for quality



design, construction of parks and open spaces and to ensure increased improvement in water quality." Since the intent of Veterans Memorial Park is to provide an open space area in a higher-density area of the City, staff believes additional landscaping would not be needed.

6. Access to the property.

Analysis: Access into the property exists off of sidewalks placed along Church Street, Monroe Street and at the intersection of Division Street and Depot Street. A sidewalk extension is planned to connect the proposed gazebo to other features within the park.

Findings: With existing sidewalk infrastructure located in the property, along with on-street parking areas nearby, staff believes that access to the property and gazebo is appropriate.

7. Lighting.

Analysis: Outside of additional lighting potentially located within the structure, staff believes that light pollution onto neighboring properties should be minimal.

Findings: This standard is met.

8. Architectural appeal.

Analysis: The proposed wooden gazebo is of a simple design with benches surrounding the interior perimeter of the structure. Lattice fencing is planned to surround the structure and will act as 'wall elements' of the proposed structure. The wooden structure will likely be stained and will have a shingled roof appearance.

Findings: The design of the proposed gazebo is consistent with open air structures located elsewhere in City parks and open space areas.



Based on the findings above, City staff believes that the proposed gazebo meets applicable Zoning Code requirements and complements the goals and intent of the 2005 Comprehensive Plan.

Photos





APPLICATION FOR A SITE PLAN REVIEW

(Pre-Application Conference is Required for Major and Minor Site Plan Reviews)

ADMINISTRATIVE SUMMARY (Staff Use Only)

Application #		Date Submitted		Fee Required		Fee Paid	
Associated Applications (if any)				Assigned Case Manager			
Pre-Application Conference Date				Minor Site Plan	☐	Major Site Plan	☐

APPLICANT/CONTACT INFORMATION

APPLICANT INFORMATION		CONTACT INFORMATION (Same as Applicant? ☐)	
Applicant Name		Contact Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

OWNERSHIP INFORMATION

PROPERTY OWNER OF RECORD 1 INFORMATION (Same as Applicant? ☐)		PROPERTY OWNER OF RECORD 2 INFORMATION (If Needed)	
Owner's Name		Owner's Name	
Address		Address	
City, State, Zip		City, State, Zip	
Telephone		Telephone	
Fax		Fax	
Email		Email	

PROJECT SUMMARY

Subject Property Location [Please Include Address and Assessor's Identification Number(s)]		
Parcel 1	Parcel 2	Parcel 3
Legal Description of Subject Property		
Area of Subject Property (Acres/Sq Ft)		
Current Zoning District(s)		

Designated Future Land Use Category	Current Use of Property	Proposed Use of Property
Describe land use and the development proposed for the subject property. Include the time schedule (if any) for development. (Use additional pages if necessary)		
Current Zoning Surrounding Subject Property		
North:		South:
East:		West:
Current Land Use Surrounding Subject Property		
North:		South:
East:		West:

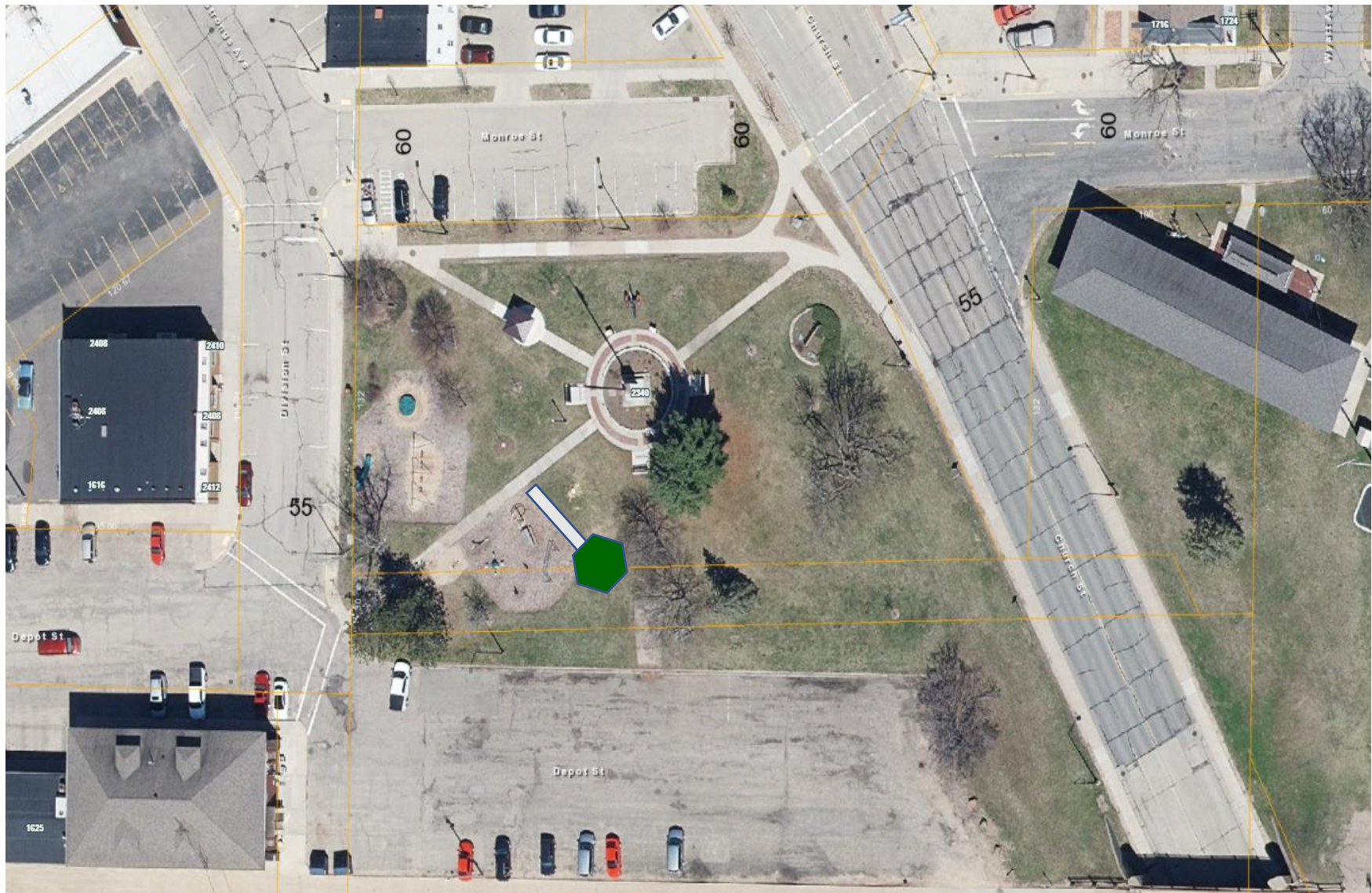
EXHIBITS

Owner Information Sheet	☐	Additional Exhibits If Any (List):
Letter to District Alderperson	☐	
Maps (vicinity, zoning, floodplains, wetlands others as requested by staff)	☐	
Site Plan (designating primary, side, and service street frontages)	☐	
Building Elevations	☐	
Parking Plan (Location, number of spaces, reductions, and design and landscaping)	☐	
Street Plan with Cross-sections	☐	
Utility Plan	☐	
Landscape Plan (including any equivalent alternative landscaping requests)	☐	
Stormwater Plan	☐	
Outdoor Lighting Plan (location of fixtures, illumination levels)	☐	

CERTIFICATION AND SIGNATURE

By my signature below, I certify that the information contained in this application is true and correct to the best of my knowledge at the time of the application. I acknowledge that I understand and have complied with all of the submittal requirements and procedures and that this application is a complete application submittal. I further understand that an incomplete application submittal may cause my application to be deferred to the next posted deadline date.

Signature of Applicant	Date	Signature of Property Owner(s)	Date



- Gazebo



- Sidewalk Approach

Photo may differ slightly from actual plan



© 2007 Cross Country Contractors, Inc.

Open Bench Gazebo

10' 12' 16'

**3 Easy To
Follow Plans**

Includes:

- ★ Complete Building Plans
- ★ Custom Views of Gazebo
- ★ Construction Overview
- ★ Use of Materials List
- ★ Material Pull List



Stock #: 12128960 of 99

Top View Open Bench Gazebo

Deck design load specifications: 1212SCG

60 p.s.f. Live Load

10 p.s.f. Dead load

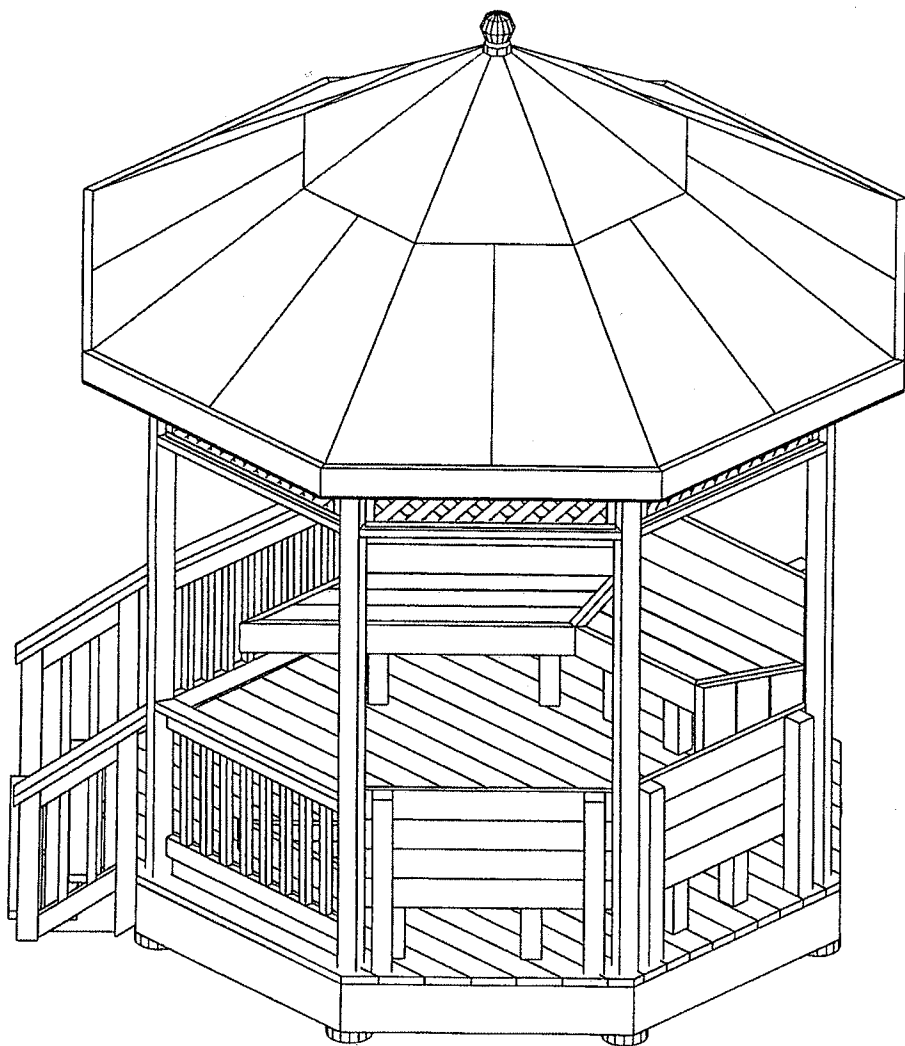
With premium soil bearing pressure

of 2,500 p.s.f.

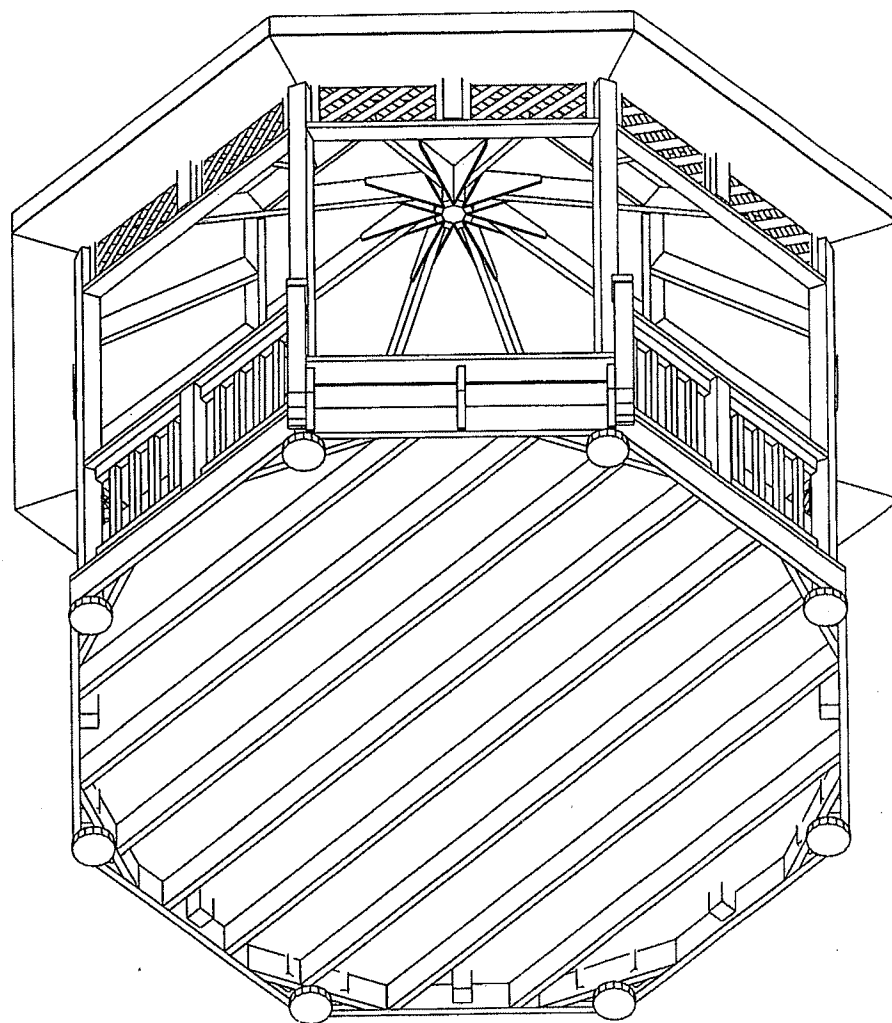
These designs are not intended to support heavy objects such as pools, spa's, etc..

This entire package is protected by copyright law. It is illegal to display or reproduce it in whole or in part, or otherwise copied for public or private use without written permission from Cross Country Contractors, Inc.. Although effort has been made at the time of print to ensure accuracy of these plans, the reader should check each specification for his or her own assurance and must be responsible for the use of these plans. The suggested design and drawings provided herein are not an architectural building plan. As with any home improvement project consult with a qualified contractor and your local building department prior to construction..

Top View



Bottom View

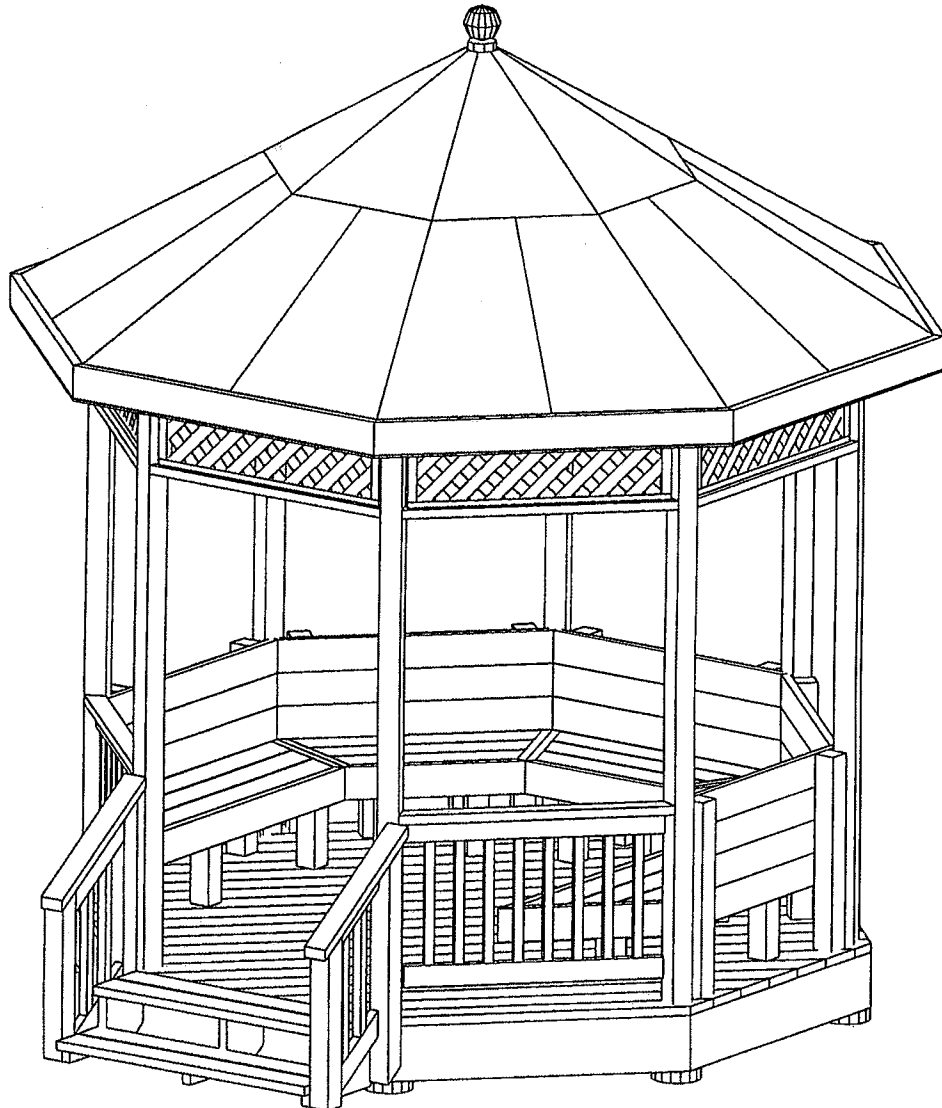


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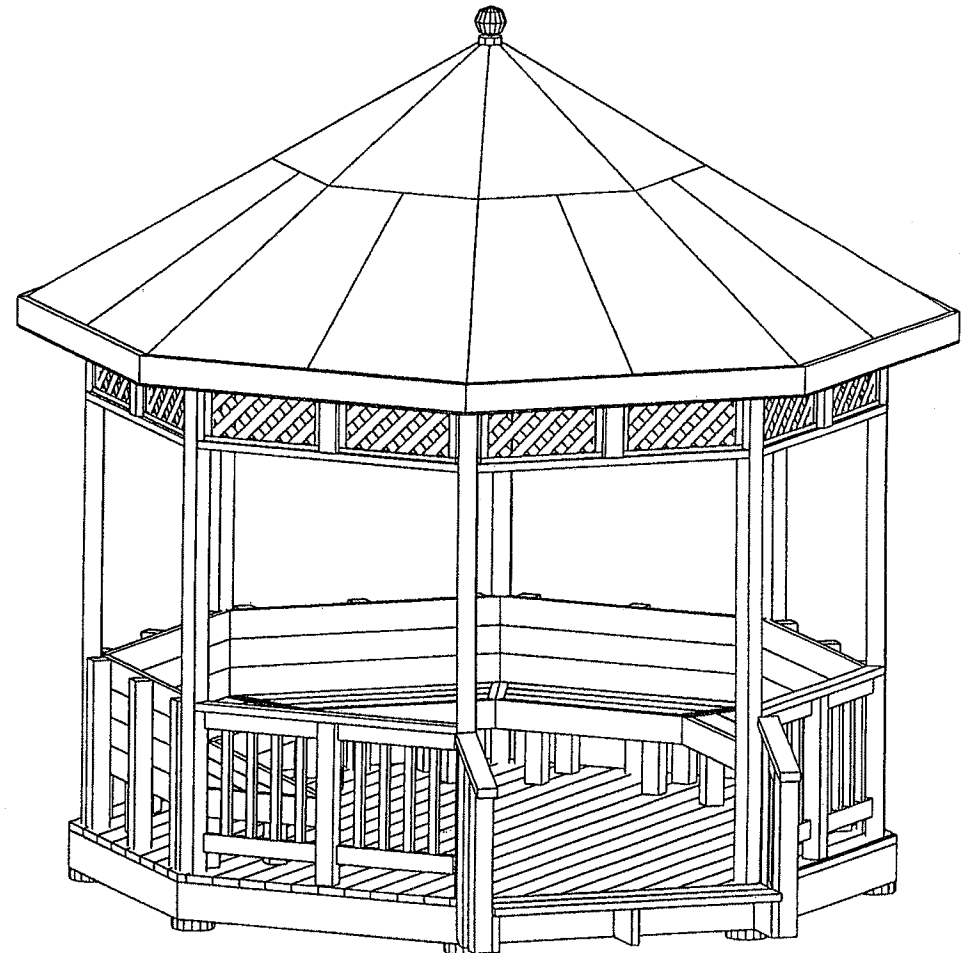
Custom Views

Octagon Gazebo W/ Benches

Side View - 1



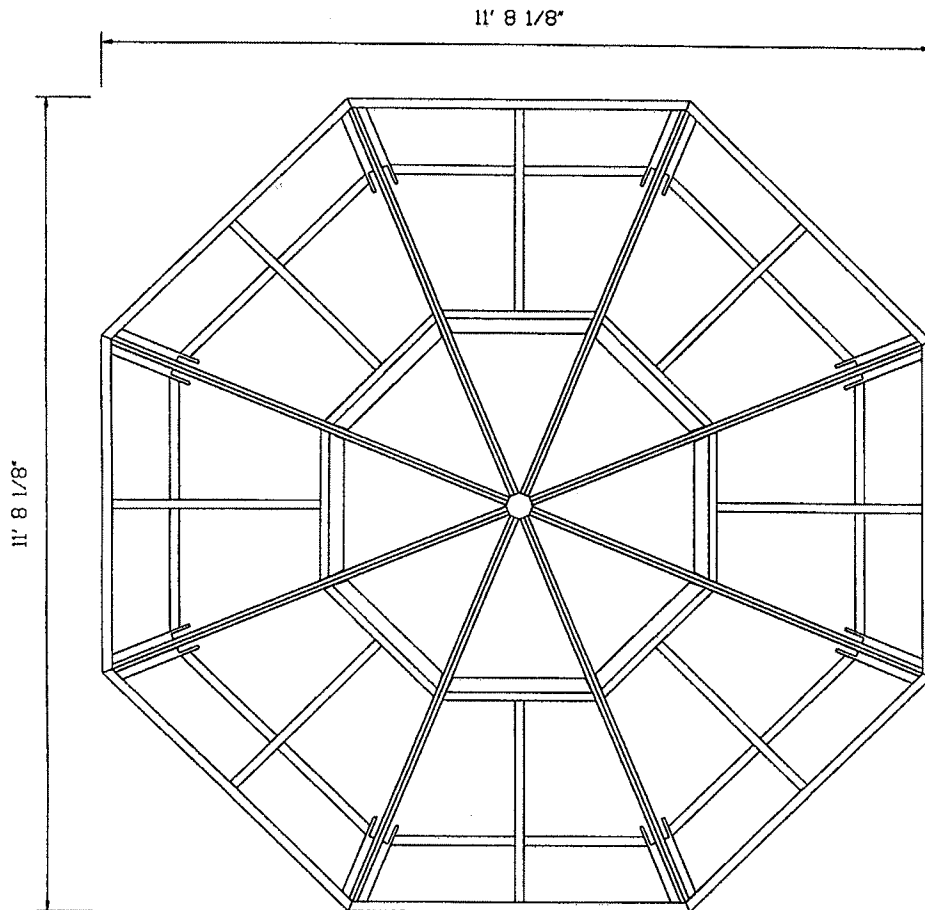
Side View - 2



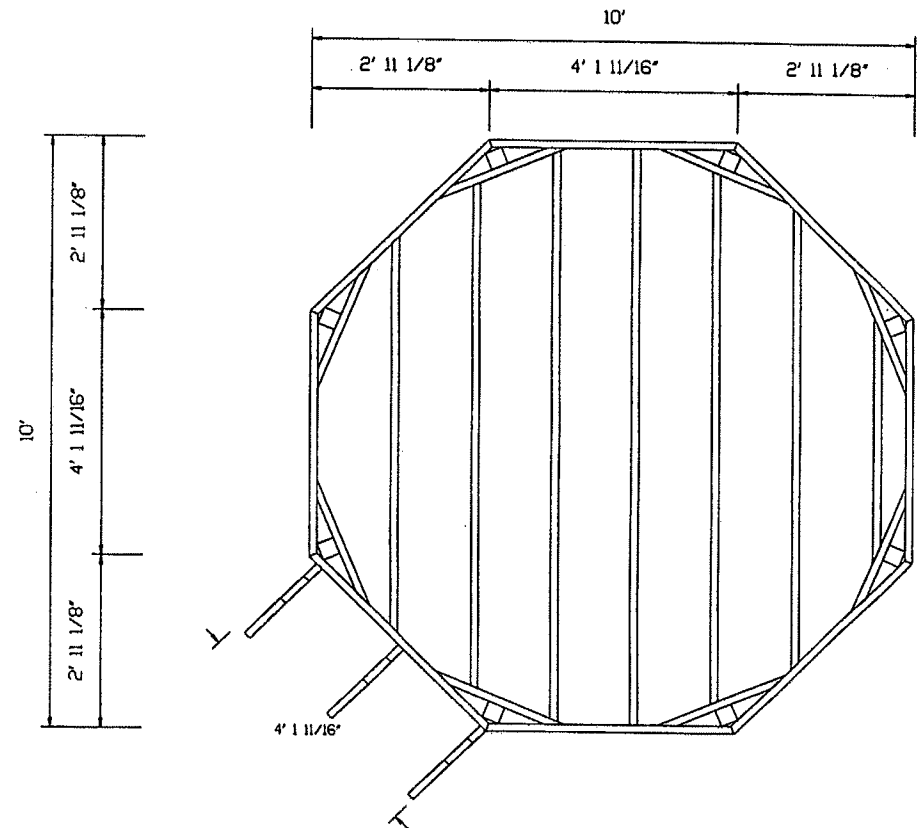
C - 1

Plan View & Cut List 10' Octagon Gazebo

Plan View
Roof Structure

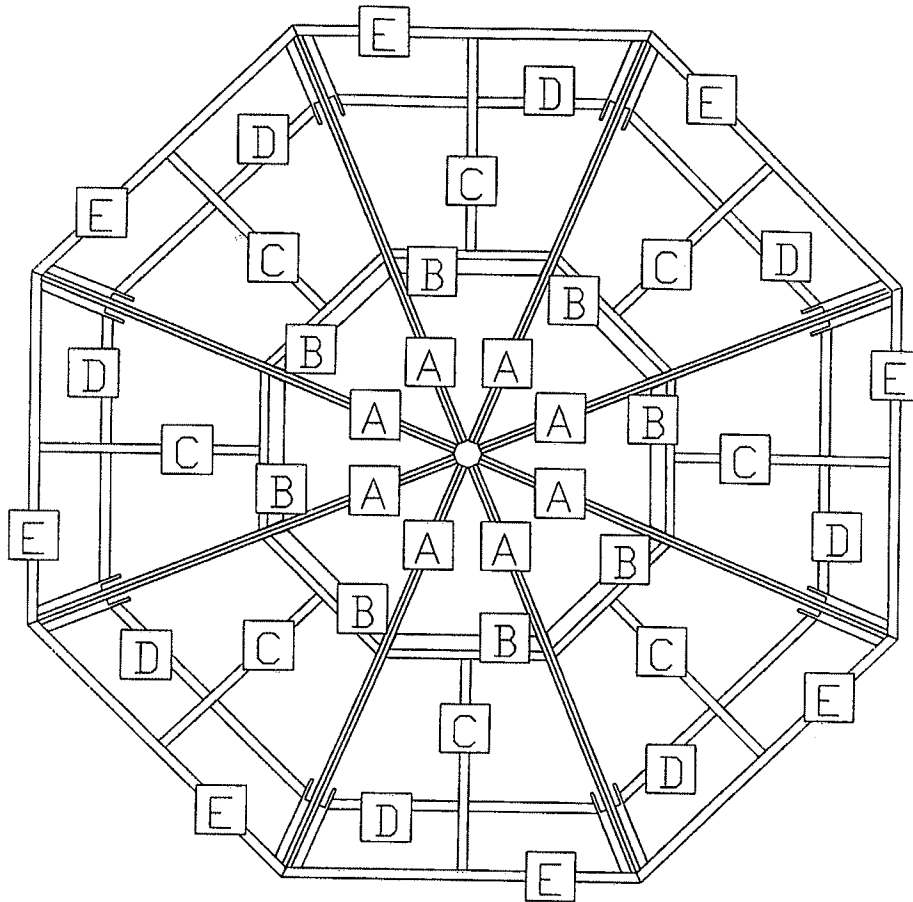


Plan View
Deck Structure



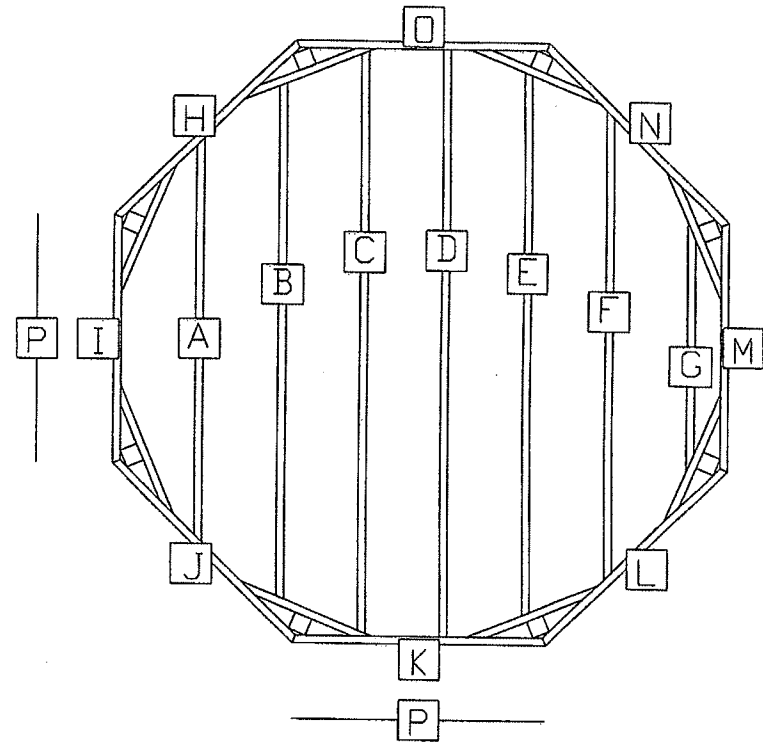
Joists - Set joists between the Outer Deck Ledgers as shown, 16" center to center
 Note - Your design may require knee bracing and bridging between joists. **Check with your local building department for specific details concerning your building plans.**
 The suggested design is not an architectural building plan.

Roof Structure



Label	Length	Bevels	
A Rafter (8)	7'8 5/16"	F30	S30
B Horiz. Support (8)	2' 7/8"	F20	S20
C Vertical Support (8)	3'	F0	S30
D Ledger (8)	3'7 3/4"	F22	S22
E Fascia (8)	4'10 1/16"	F22	S22

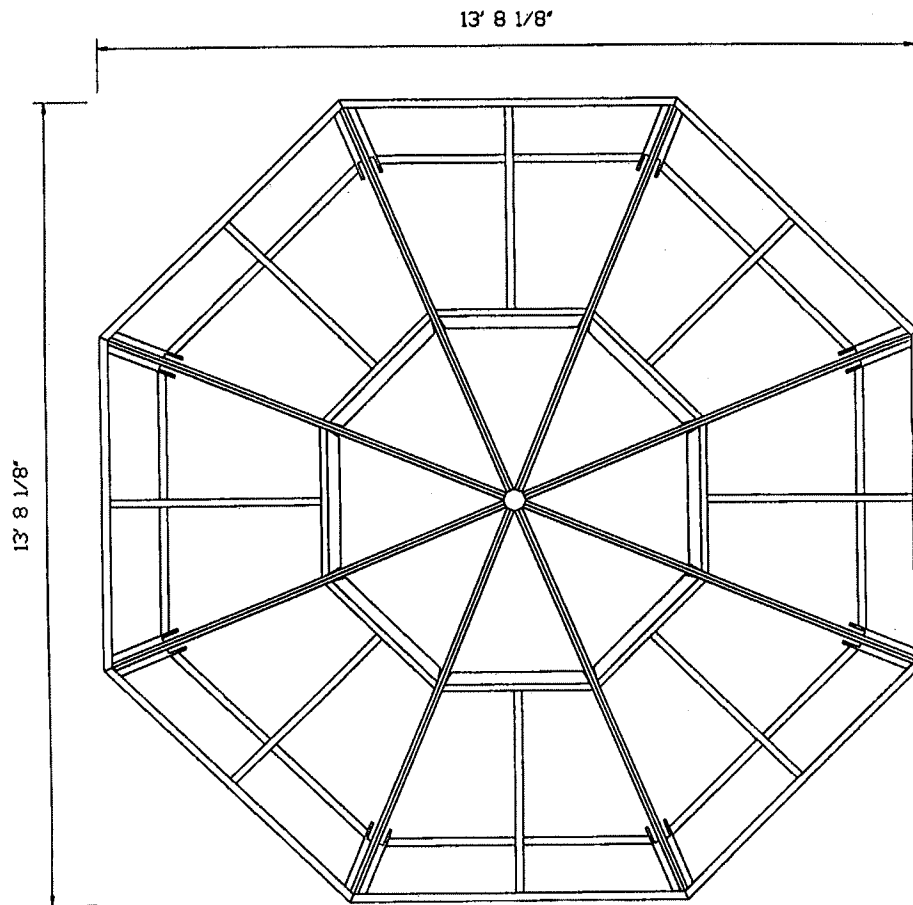
Deck Structure



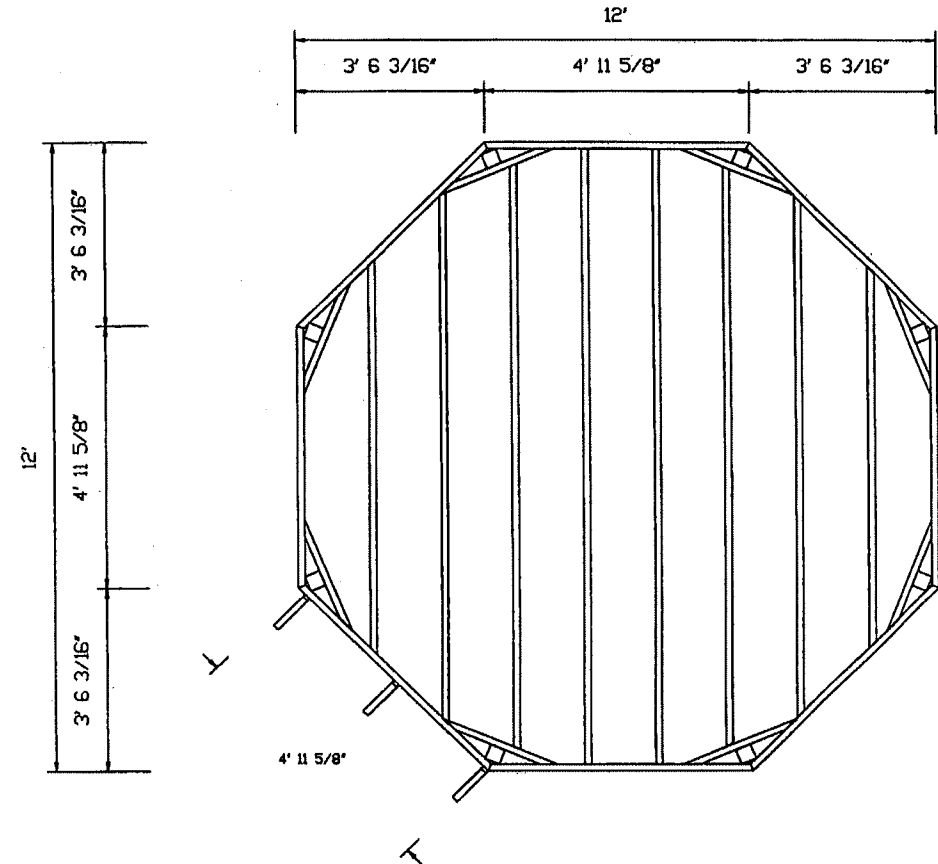
Label	Length	Bevels	
A Joist	6'8 7/16"	F45	R45
B Joist	8'6 3/4"	F22	R22
C Joist	9'8"	F22	R22
D Joist	9'9"		
E Joist	9' 1/8"	F22	R22
F Joist	7'9 7/16"	F45	R45
G Joist	4'1 15/16"	F67	R67
H, I, J, K, L, M, N, O Fascia	4'1 11/16"	F22	S22
P Cap	3'8 11/16"	F22	S22
P Section	3'8 1/2"		

Plan View & Cut List 12' Octagon Gazebo

Plan View
Roof Structure

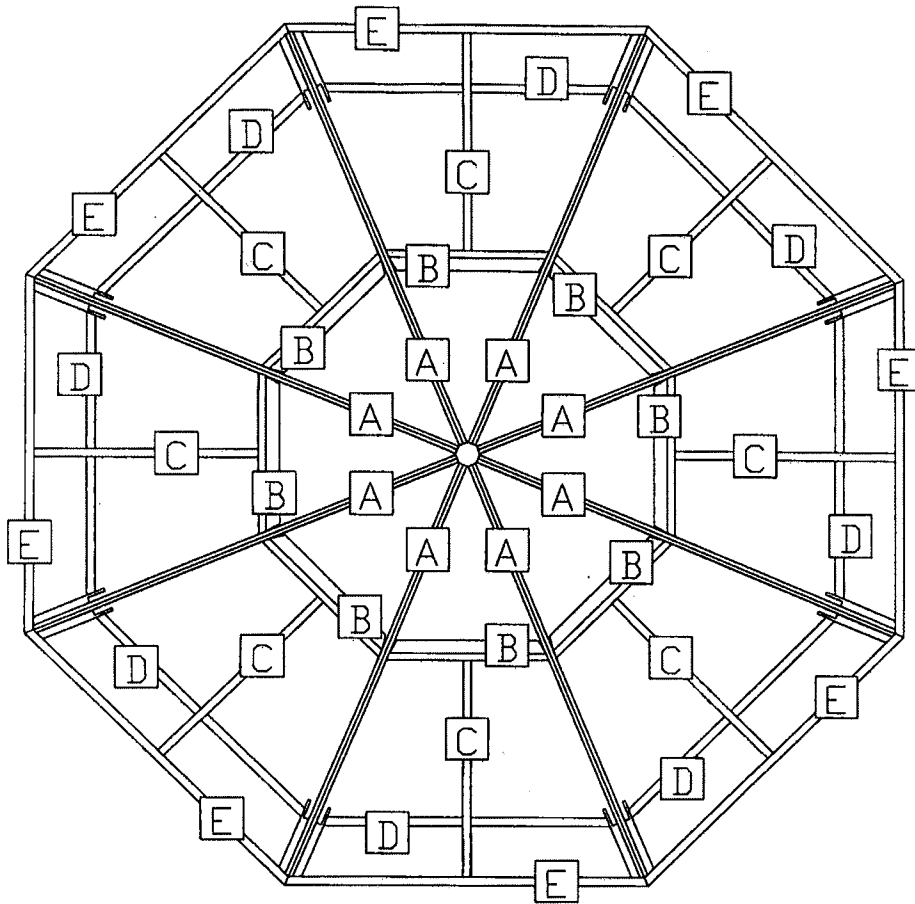


Plan View
Deck Structure



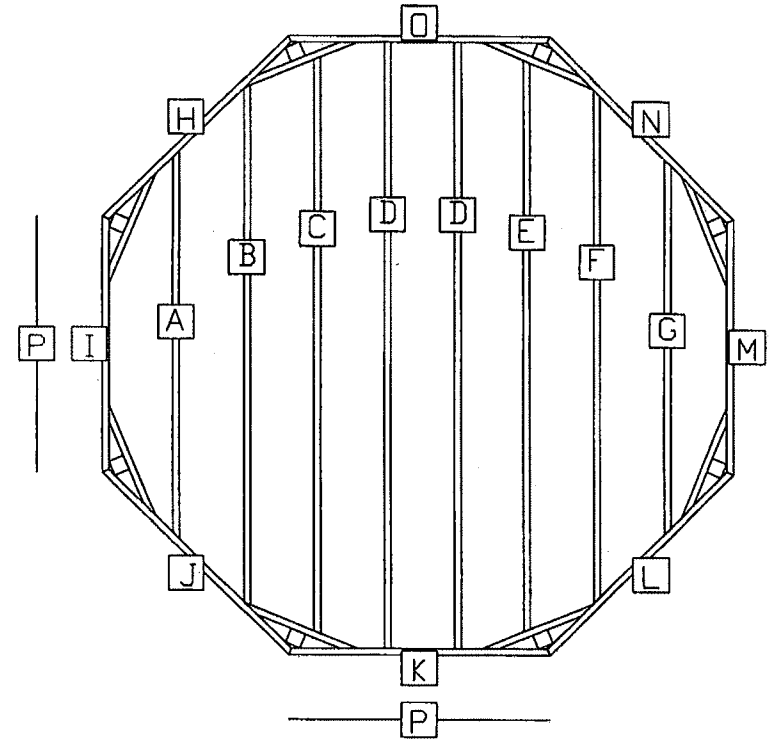
Joists - Set joists between the Outer Deck Ledgers as shown, 16" center to center
 Note - Your design may require knee bracing and bridging between joists. **Check with your local building department for specific details concerning your building plans.**
 The suggested design is not an architectural building plan.

Roof Structure



Label	Length	Bevels	
A Rafter (8)	8'11 15/16"	F30	S30
B Horiz. Support (8)	2'5 13/16"	F20	S20
C Vertical Support (8)	3'7 3/16"	F0	S30
D Ledger (8)	4'5 11/16"	F22	S22
E Fascia (8)	5'8"	F22	S22

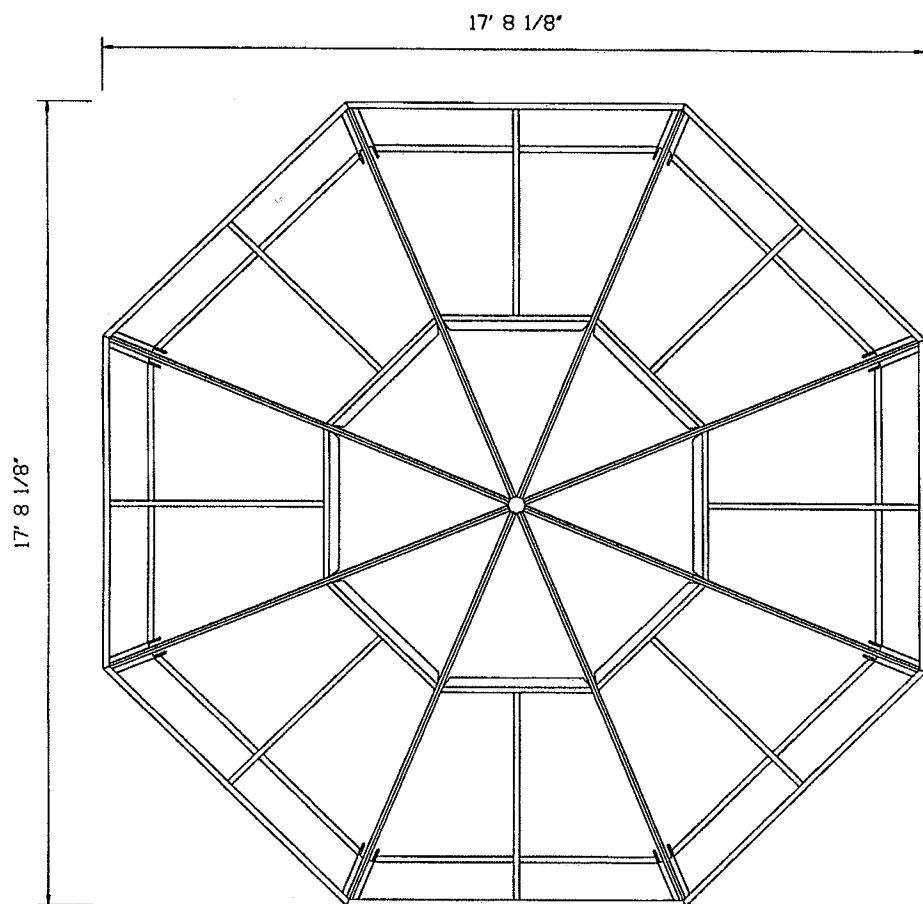
Deck Structure



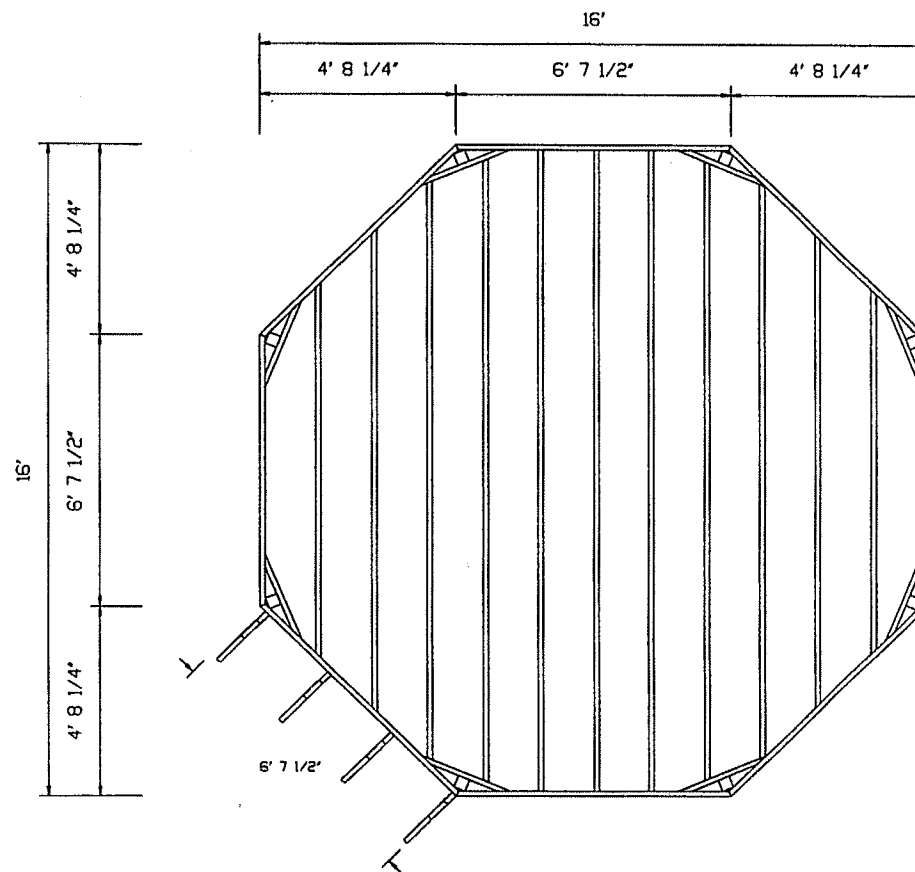
Label	Length	Bevels	
A Joist	7'6 3/8"	F45	R45
B Joist	10' 7/8"	F22	R22
C Joist	11'2 3/16"	F22	R22
D Joist (2)	11'9"		
E Joist	11' 15/16"	F22	R22
F Joist	9'11 3/8"	F45	R45
G Joist	7'3 3/8"	F45	R45
H, I, J, K, L, M, N, O Fascia	4'11 5/8"	F22	S22
P Cap	4'6 5/8"	F22	S22
P Section	2'2 11/16"		

Plan View & Cut List 16' Octagon Gazebo

Plan View
Roof Structure



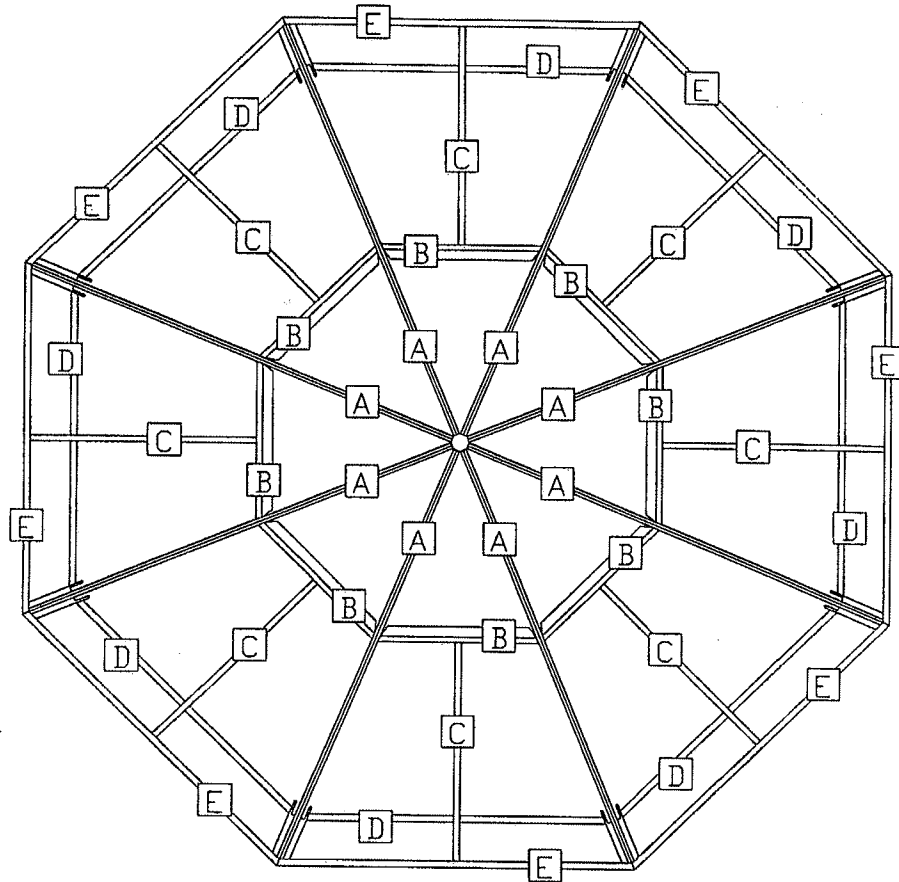
Plan View
Deck Structure



Joists - Set joists between the Outer Deck Ledgers as shown, 16" center to center
Note - Your design may require knee bracing and bridging between joists. **Check with your local building department for specific details concerning your building plans.**

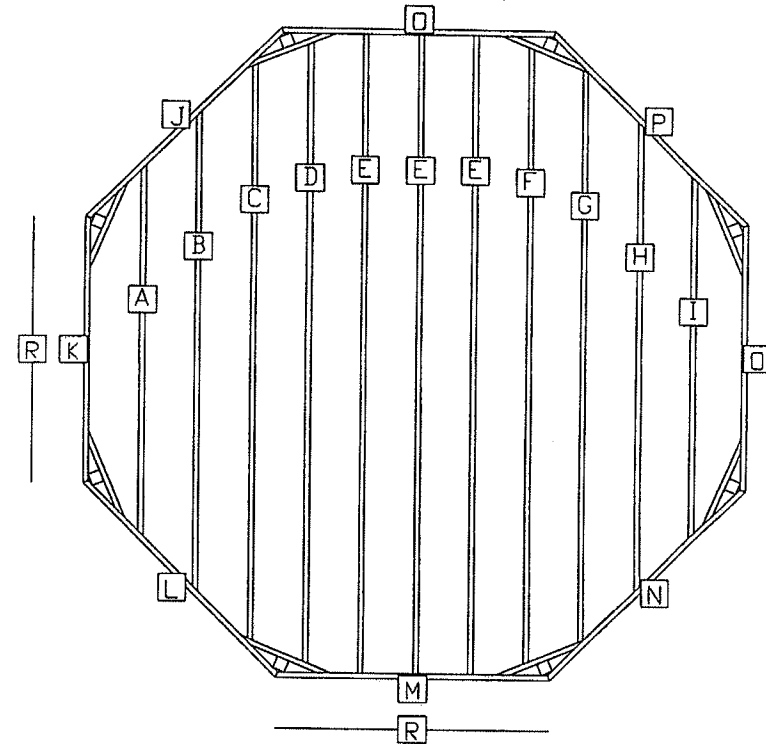
The suggested design is not an architectural building plan.

Roof Structure



Label	Length	Bevels	
A Rafter (8)	11'7 1/16"	F30	S30
B Horiz. Support (8)	3'3 3/4"	F20	S20
C Vertical Support (8)	4'9 5/8"	F0	S30
D Ledger (8)	6'1 9/16"	F22	S22
E Fascia (8)	7'3 7/8"	F22	S22

Deck Structure



Label	Length	Bevels	
A Joist	9'2 5/16"	F45	R45
B Joist	11'10 5/16"	F45	R45
C Joist	14'2 1/2"	F22	R22
D Joist	15'3 3/4"	F22	R22
E Joist (3)	15' 9"		
F Joist	15'2 1/2"	F22	R22
G Joist	14'1 1/4"	F22	R22
H Joist	11'7 5/16"	F45	R45
I Joist	8'11 5/16"	F45	R45
J, K, L, M, N, O, P, Q Fascia	6'7 1/2"	F22	S22
R Cap	6'2 1/2"	F22	S22
P Section	3' 11/16"		

F

The material use list details the use of each lumber product purchased.

For reference, keep this page on your job site during construction

Material Use List Lumber Products

Octagon Gazebo W/ Benches

10' Octagon Gazebo

Decking	2	5/4x6x 12'
Decking	4	5/4x6x 8'
Decking	14	5/4x6x 10'
Bench Supports	10	Bench Frames
Bench Side	2	2x6x 16'
Bench Back	2	2x6x 16'
Bench Side	3	2x6x 12'
Bench Back	3	2x6x 12'
Central Spine	1	4x4x 8'
Central Ledger	1	2x2x 8'
Rafters	4	2x6x 16'
Supports	4	2x6x 16'
Tie	4	2x4x 10'
Tie Plate	2	2x4x 16'
Roof Ledger	4	2x6x 10'
Header Cap	3	2x4x 10'
Lattice Divider	2	2x 8' Ltc. Divider
Rail Cap	1	2x4x 8'
Horizontal Rails	2	2x4x 10'
Vertical Rails	14	2x2x 3'
Bench Top	3	2x6x 12'
Bench Top	2	2x6x 16'
Stair Post	1	4x4x 16'
Stair Stringer	1	2x12x 12'
Stair Tread	2	5/4x6x 10'
Joists	3	2x8x 8'
Joists	4	2x8x 10'
Outer Deck Ledger	6	2x8x 10'
Lattice Cap	16	2x 8' Lattice Cap
Ground Posts	8	4x4x 10'
Lattice Trim	1	2x8 Lattice Sheet

12' Octagon Gazebo

Decking	7	5/4x6x 8'
Decking	4	5/4x6x 10'
Decking	16	5/4x6x 12'
Bench Supports	10	Bench Frames
Bench Side	5	2x6x 16'
Bench Back	2	2x6x 10'
Bench Back	2	2x6x 8'
Bench Back	3	2x6x 16'
Central Spine	1	4x4x 8'
Central Ledger	1	2x2x 8'
Rafters	8	2x6x 10'
Supports	4	2x6x 16'
Tie	4	2x4x 10'
Tie Plate	2	2x4x 16'
Roof Ledger	4	2x6x 10'
Header Cap	3	2x4x 10'
Lattice Cap	16	2x 8' Lattice Cap
Lattice Divider	2	2x 8' Ltc. Divider
Rail Cap	1	2x4x 10'
Horizontal Rails	2	2x4x 10'
Vertical Rails	18	2x2x 3'
Bench Top	3	2x6x 16'
Bench Top	4	2x6x 12'
Rail Post	1	4x4x 8'
Stair Post	1	4x4x 16'
Stair Stringer	1	2x12x 12'
Stair Tread	2	5/4x6x 10'
Joists	2	2x8x 8'
Joists	1	2x8x 10'
Joists	5	2x8x 12'
Outer Deck Ledger	6	2x8x 10'
Ground Posts	8	4x4x 10'
Lattice Trim	1	2x8 Lattice Sheet

16' Octagon Gazebo

Decking	2	5/4x6x 8'
Decking	4	5/4x6x 10'
Decking	4	5/4x6x 12'
Decking	25	5/4x6x 16'
Bench Supports	15	Bench Frames
Bench Side	2	2x6x 12'
Bench Side	5	2x6x 8'
Bench Back	5	2x6x 12'
Bench Back	2	2x6x 10'
Bench Side	3	2x6x 10'
Bench Back	3	2x6x 8'
Central Spine	1	4x4x 8'
Central Ledger	1	2x2x 8'
Rafters	8	2x6x 12'
Supports	8	2x6x 10'
Tie	4	2x4x 16'
Tie Plate	2	2x4x 16'
Roof Ledger	4	2x6x 16'
Header Cap	3	2x4x 16'
Lattice Divider	2	2x 8' Ltc. Divider
Rail Cap	1	2x4x 16'
Horizontal Rails	2	2x4x 16'
Vertical Rails	24	2x2x 3'
Bench Top	15	2x6x 8'
Rail Post	1	4x4x 8'
Stair Post	1	4x4x 16'
Stair Stringer	1	2x12x 12'
Stair Tread	4	5/4x6x 8'
Joists	2	2x8x 10'
Joists	2	2x8x 12'
Joists	7	2x8x 16'
Outer Deck Ledger	10	2x8x 8'
Lattice Cap	18	2x 8' Lattice Cap
Ground Posts	8	4x4x 10'
Lattice Trim	1	2x8 Lattice Sheet

G

Take This Entire Page To
Your Lumber Yard

Material Pull List

Octagon Gazebo W/ Benches

The Materials Will Be Pulled For:
(Octagon Gazebo - Circle One)
10' 12' 16'

Hardware:

All hardware needs to
be suitable for
outdoor use

	10' Gazebo	12' Gazebo	16' Gazebo
Concrete (12"x42" post hole)	50	50	50
12" x 48" Sono Tube	3	3	3
J-Bolts (anchor bolts)	8	8	8
4x4 Post anchors	8	8	8
1/2" x 8" Galv. Carriage Bolts with Nut & Washer	16	16	16
3 1/2" (16D) Galvanized Nail	10 lbs	10 lbs	10 lbs
2" (6D) Galvanized Nail	7 lbs	7 lbs	7 lbs
3" Galvanized Deck Screws	5 lbs	5 lbs	5 lbs
2 1/2" Galv. Deck Screws	10 lbs	15 lbs	20 lbs
15# Roofing Felt	1 roll	1 roll	2 rolls
Shingles (Wood Shakes)	2 sqr.	2 sqr.	4 sqr.
Metal Drip Edge	40'	48'	60'
1" Galvanized Roofing Nails	5 lbs	10 lbs	15 lbs
Ball Top Kit	1	1	1

Substitute with 3" screws if using
2x6 decking material and add 5 lbs
of 2 1/2" screws for Balusters

Lumber:

10' Gazebo

2	5/4x6x 12'
4	5/4x6x 8'
16	5/4x6x 10'
14	2x6x 16'
9	2x6x 12'
1	4x4x 8'
1	2x2x 8'
9	2x4x 10'
2	2x4x 16'
4	2x6x 10'
1	2x4x 8'
14	2x2x 3'
1	4x4x 16'
1	2x12x 12'
8	4x4x 10'
3	2x8x 8'
10	2x8x 10'
16	2x 8' Ltc. Cap
2	2x 8' Ltc. Divider
1	2x8 Lattice Sheet
10	Bench Frames
5	4'x8' 3/8" Plywood
4	4'x8' 1/2" Plywood

12' Gazebo

7	5/4x6x 8'
6	5/4x6x 10'
16	5/4x6x 12'
15	2x6x 16'
14	2x6x 10'
2	2x6x 8'
2	4x4x 8'
1	2x2x 8'
10	2x4x 10'
2	2x4x 16'
18	2x2x 3'
2	4x4x 16'
4	2x6x 12'
2	2x8x 8'
1	4x4x 16'
1	2x12x 12'
5	2x8x 12'
7	2x8x 10'
8	4x4x 10'
16	2x 8' Ltc. Cap
2	2x 8' Ltc. Divider
1	2x8 Lattice Sheet
10	Bench Frames
5	4'x8' 3/8" Plywood
6	4'x8' 1/2" Plywood

16' Gazebo

6	5/4x6x 8'
4	5/4x6x 10'
4	5/4x6x 12'
25	5/4x6x 16'
15	2x6x 12'
23	2x6x 8'
13	2x6x 10'
2	4x4x 8'
1	2x2x 8'
12	2x4x 16'
4	2x6x 16'
24	2x2x 3'
2	2x8x 12'
1	4x4x 16'
1	2x12x 12'
2	2x8x 10'
7	2x8x 16'
10	2x8x 8'
8	4x4x 10'
18	2x 8' Ltc. Cap
2	2x 8' Ltc. Divider
1	2x8 Lattice Sheet
15	Bench Frames
5	4'x8' 3/8" Plywood
10	4'x8' 1/2" Plywood

If prefabricated bench frames are not available, add the following to your material use and pull lists:

10' & 12' Gazebos -	Bench Leg	5	4x4x 8'	Bench Support	5	2x4x 8'
16' Gazebos -	Bench Leg	5	4x4x 12'	Bench Support	5	2x4x 12'

All lumber should be of materials suitable for outdoor use (typically pressure treated). Some of your material may be upgraded to cedar, redwood or other. * Optional fascia (used commonly in cedar and redwood decks) typically not installed on pressure treated decks. Contact your building department & store associate for details

Customer Name: _____ Phone: ()

Delivery Date: _____

Delivery Time: _____

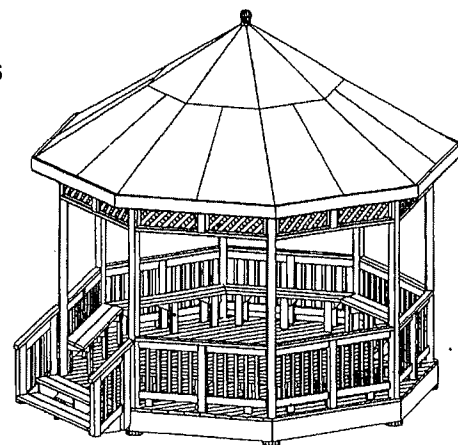
Call To Confirm: Yes or No (Circle one)

Glossory of Terms

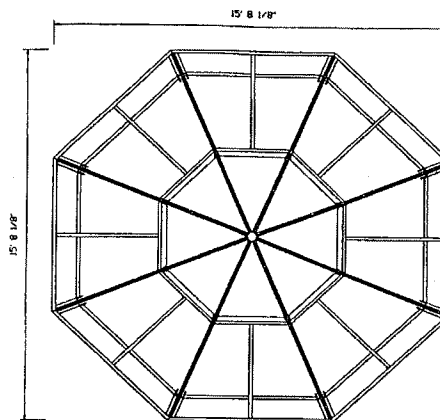
Please note that some of the terms listed below may or may not pertain to your particular deck insallation.

Term	Description
16" o/c	16" from the center to center of each joist
Anchor Bolt	Secures foundation bracket in concrete
Balluster	Vertical railing members between railing posts
Batter Boards	Wooden sticks and string for footing placement
Beam	Joist supports (part of the framing)
Beam Bolt	Secures the beam to ground post
BeamPost	Used to support beam(same as ground posts)
Bevels	Angle cuts on board ends
Bracing	Angled braces from posts to beams
Cap / Top Rail	Top rail - Typically a 2x6
Concrete	Material used to fill post holes / footings
Decking	Boards used for the deck floor
Fascia	Trim placed around the entire deck frame
Flashing	Used between the house and ledger board
Frame	Structural support of a deck or gazebo
Joist	Framing which supports the deck floor
Joist Hanger	Placed on the house ledger board -Holds Joists
Joist Hanger Nails	Special nails to secure joist hangers
Lag Screw	Used to secure the ledger to the house
Lattice	Placed under the deck as an apron, decoration
Ledger Board	Secured to the house and/or deck perimeter
Notched Post	Pre-fabricated railing post
Pier - Footing	Below ground deck support (concrete)
Posts Anchor	Secures ground post to concrete pier
Pre-Drill	Pilot hole for fasteners (screws, bolts, nails, etc..)
Railing Post	Secured to the outside of the deck for railing
Rafter	Structural framing which supports a roof
Railing Bolt	Secures railing posts to the deck ledger
Sealer / Stain	Protective coating applied to deck after installation
Section	Horizontal 2x4's on railing
Solid Apron	Closes in deck bottom from deck to ground
Sono Tube	Round tube used to form top of concrete footing
Stair Back (riser)	Closes in stair rise. Attached at front of step.
Stair Tread (run)	Step length. Actual stepping surface
Stringer	Used to make stairs - Typically 2x12's

Various 3D Views



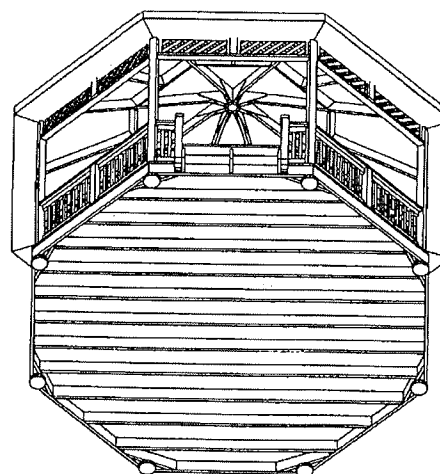
Dimensional Layouts



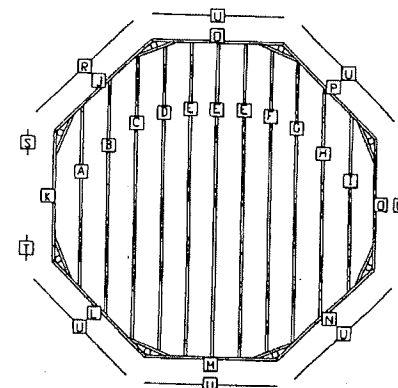
Included within this plan are easy to follow instructions, complete material lists, detailed cut lists and various 3D views of this gazebo design. Bring this plan to your local building department or your favorite contractor and turn your dream deck into a reality.

Thank you,
Roy W. Beaudoin

Bottom View



Material Cut List



This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There is no handwriting or other markings on the paper.



MEMORANDUM

To: City Plan Commission

From: Ryan Kernosky, Director of Community Development
Adam Kuhn, Associate Planner / Zoning Administrator

Date: September 7, 2021

RE: **Proposed Accessory Dwelling & Commercial Unit Ordinance**

As Commissioners may recall, in June the Commission held a public hearing on the proposed Accessory Dwelling & Commercial Unit ordinance (ADU/ACU). Due to concerns from the public, the Common Council decided to postpone action on the proposed ADU and ACU ordinance and instructed City staff to hold neighborhood meetings to present and further discuss the ordinance with residents. To date, we have held meetings with seven districts throughout the City.

While there was no firm 'yes or no', the consensus from these meetings indicated that most neighborhoods were open to the following:

- Make ADUs and ACUs a conditional use within all residential zoning districts instead of it being a permitted use.
- Require ADUs and ACUs to meet the minimum setback requirements for principal structures of the zoning district or overlay zoning district for which it is located. Previously, ADUs and ACUs were required to meet the minimum setbacks for accessory structures (typically three feet).
- The owner of the property in which the ADU or ACU is created must continue to occupy the dwelling unit on the property as their primary residence for a period of at least ten months in a calendar year. Previously, the owner occupancy requirement was a minimum of six months.
- Reduce the density minimum, especially in the R-3 zoning district, from 5,000 sf to 10,000 sf.
- Prohibit the use of the ADU as a tourist rooming house (Air B&B, VRBO).

There is no formal action required by the Plan Commission at this time. City staff intends to work on the ordinance change to bring back this fall for consideration. If the Commission would like to provide additional feedback, now would be the time to do so. Attached to this memorandum is a power point City staff presented to various neighborhood groups.

Accessory
Dwelling/Commercial
Unit
Presentation &
Discussion



What's going on here?



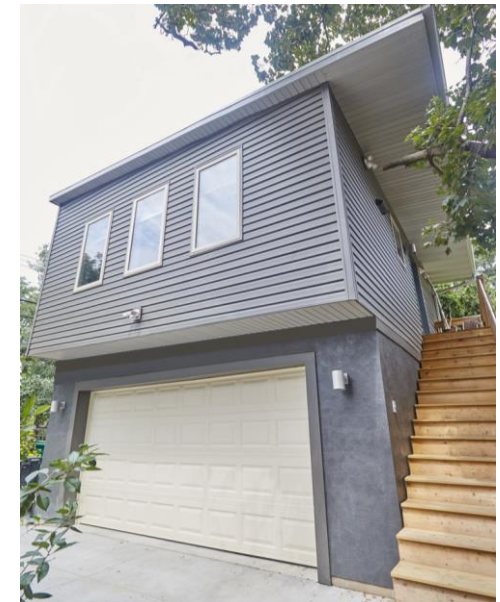
- City of Stevens Point has been exploring ADU/ACU since March 2020... then COVID.
- Spring 2021 – Staff begins to work on an amendment to allow ADU/ACU in all residential zoning districts. This was spurred by the pandemic and trying to proactively address the changes in residential living & working from home as a result.
- June 2021 – Misconceptions about what's being proposed being to pop up!
 - Common Council directs staff to have neighborhood presentations and gather additional feedback. Takes no formal action on the proposed ordinance change.

What are ADUs & ACUs?

- Accessory dwelling units are a small, detached or attached secondary residence on the same lot as an existing home and is independently habitable.
- Accessory commercial units are a small, detached or attached commercial unit that is accessory to the principal residential use on the site.
- Also known as:
 - Granny flat
 - Guest house
 - In-law suite
 - Back house
 - Alley flat



Examples of ADUs



Homeowner Goals for ADU Construction



Stevens Point's Proposed Ordinance

- Allowed only detached ADU/ACU's.
- The owner of the property must reside in the primary residential structure.
- ADU/ACU's were a permitted use.
- Only allowed on a lot that met the minimum lot size requirements for a **single-family dwelling** in the appropriate zoning district.
 - R-LD – 1 acre
 - R-1 – 16,500 sf (~.38 acre)
 - R-2 – 8,000 sf (~.20 acre)
 - R-3 – 5,000 sf (~.12 acre)
 - R-4 – 8,000 sf (~.12 acre)
 - R-5 – 8,000 sf (~.12 acre)
- **Total Impervious Surface Cannot Exceed 75 % of lot coverage.**
 - All structures, driveways, sidewalks, etc.

Stevens Point's Proposed Ordinance

- Size Limitations:
 - Maximum size is 900 square feet, minimum size is set by UDC (typically 300 sf)
 - ADU/ACU does not count against the City's 900 sf maximum for accessory structures (aka detached garages or sheds).
 - Cannot exceed 20' in height.
- Only one ADU/ACU is permitted on each lot.
- Would have to provide at least 1 parking area.

Stevens Point's Proposed Ordinance

- Occupants must meet the definition of family.

FAMILY - is an individual, or two or more person related by blood, marriage, adoption, foster child arrangement, or similar legal relationship and functioning as a single housekeeping entity, or such individual or person plus one individual not having such similar legal relationship but functioning as a part of the single housekeeping entity. The definition of family shall not apply to a Tourist Rooming House.

- Tourist Rooming House (Air BNB & VRBO)
 - Permitted in all zoning districts if the owner lives on-site
 - Conditional use in the R-4, R-5 zoning district if the owner does not live on-site
- ADU/ACU must have own water/sewer lines.

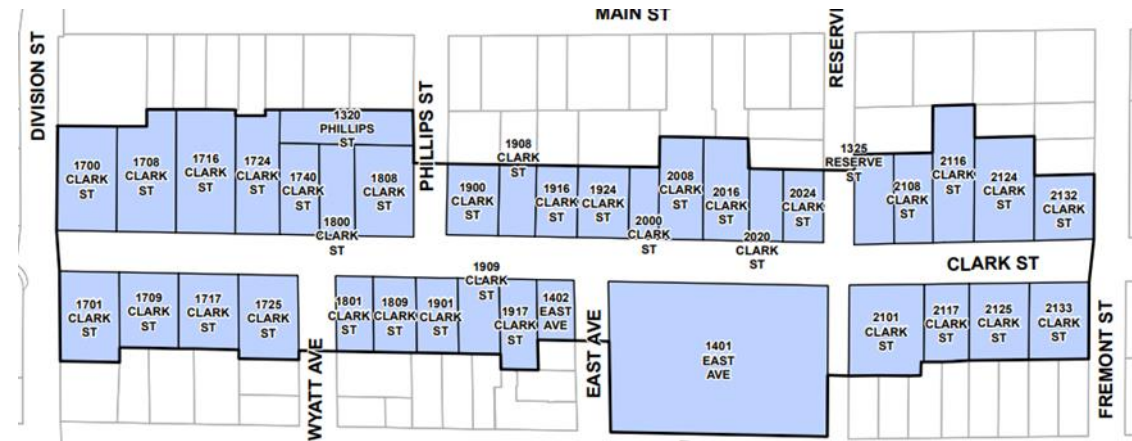
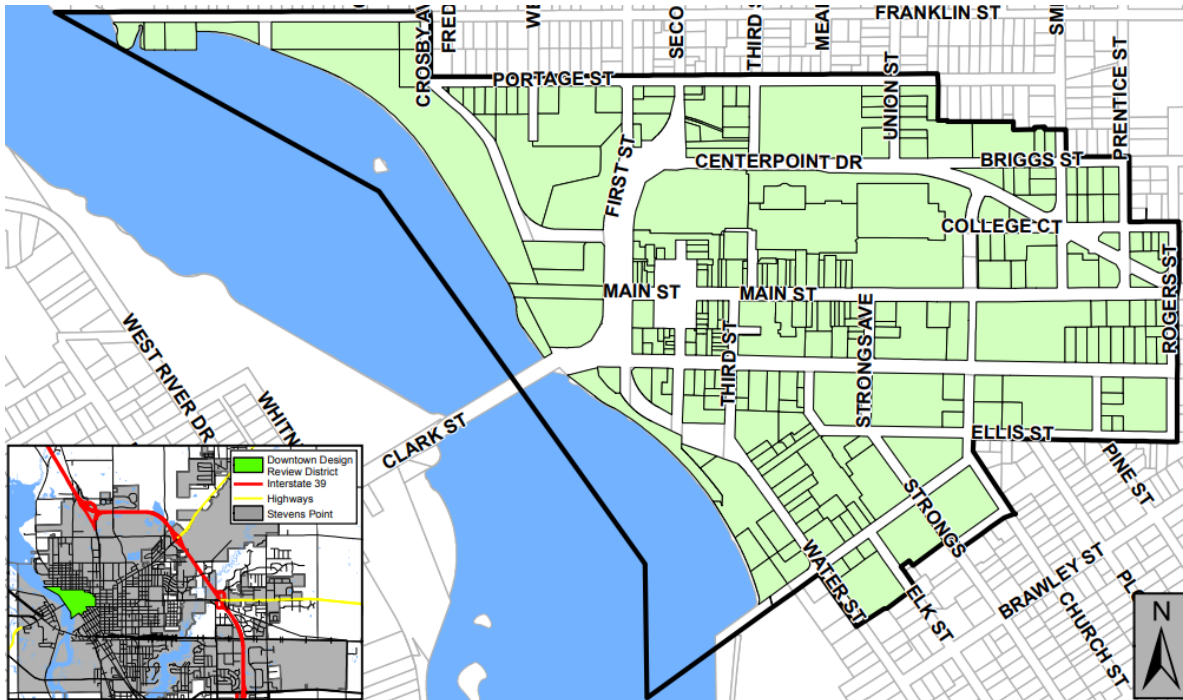
Stevens Point's Proposed Ordinance

- Setback from property lines
 - As long as an accessory building is $\leq 15'$ in height and 10' away from all structures on the parcel, the building can be 3' from the side and rear lot line (10' if rear lot line abuts an alleyway).
 - If the building is zoned R-1 and $> 15'$ in height or closer to any building than 10', the minimum setback from the side yard and rear yard is 10'.
 - If the building is zoned R-2, R-3, R-4, R-5, and $> 15'$ in height or closer to any building than 10', the minimum setback must be met of the principal structure for the accessory structure (7.5'-10' side yard, or 15'-30' for rear yard).
 - Modified setback requirements are available for lots within the Traditional Neighborhood Overlay District (south of Maria Drive). A conditional use permit is required.

Stevens Point's Proposed Ordinance

For lots located within the Downtown Historic Design Review District:

- Approval by the Historic Preservation / Design Review Commission is required to construct an ADU or ACU.



Confused?

We get it. Zoning regulations are confusing, convoluted, and seemingly unnecessary.

BUT! Zoning helps keep our community safe, sustainable, and keeps property values up (among others!).

Let's show
some
examples

EXAMPLE TYPICAL TRADITIONAL DEVELOPMENT CITY LOT

LOT SF = 6,500 sf

ZONING : R-3
TND-OVERLAY

IMP. SURFACE RATIO

HOUSE : 1,575

ADU : 640

DRIVE : 1,770

SIDEWALK : 78

4,063

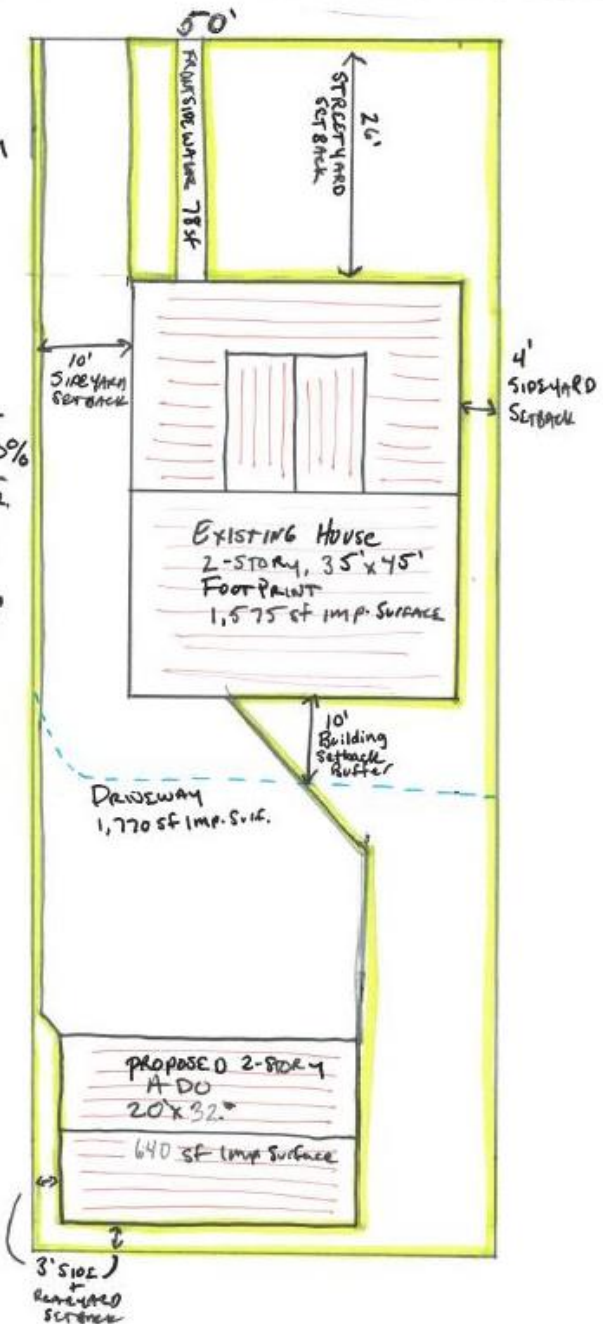
$6,500 \times .75 = 4,875$

$4,063 / 6,500 = 62.50\%$

MEETS ALL ZONING REQ.

WOULD BE PERMITTED

AS PRESENTED, 130'
PROVIDED THAT
ADU DOES NOT
EXCEED BUILDING
HEIGHT.



Let's show
some
examples

TRADITIONAL NEIGHBORHOOD
DEVELOPMENT - CITY LOT
ZONING: R-3
TRD - OVERLAY

MIN. LOT SIZE: 5,000 sf
EXISTING LOT SIZE: 5,000 sf

MAX AREA FOR ACCESSORY
STRUCTURES: 900 sf
- EXISTING ACC. STRUCTS: 400 sf
- PROPOSED ADU: 450 sf

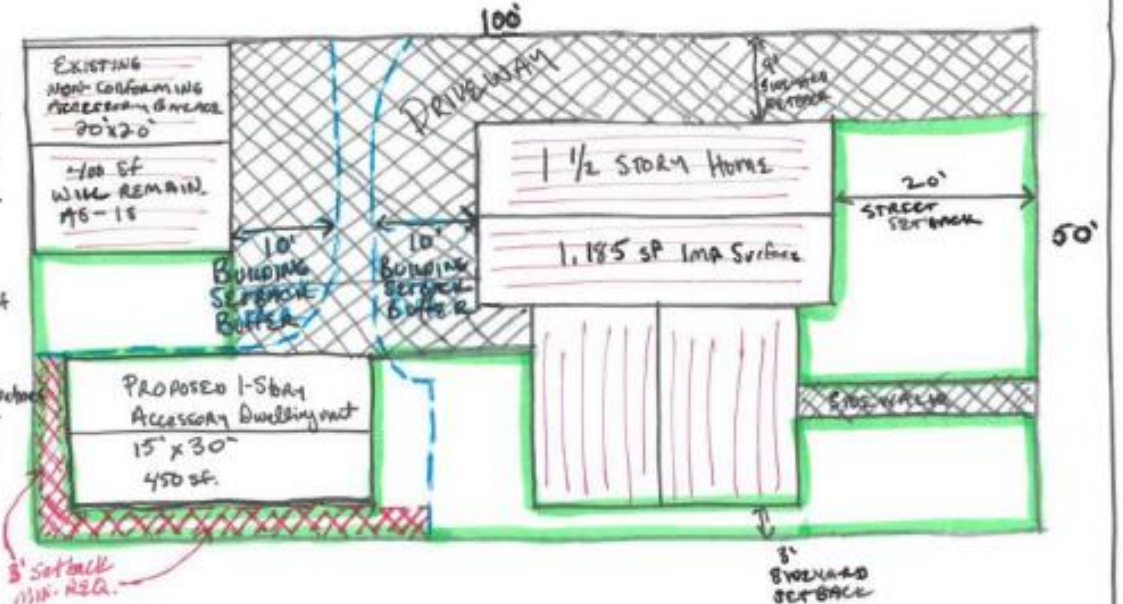
TOTAL 850 SF OF ACC. STRUCTS

IMPERVIOUS SURFACE LIMIT

- LOT: 5,000 sf
- HOME: 1,185 sf
- EX. ACC: 400 sf
- PROPOSED: 450 sf
- DRIVE/DR: 1,389 sf
- TOTAL: 3,424 sf

$5,000 \times .75 = 3,750 \text{ sf}$

THIS ADU MEETS ALL APPLICABLE
BUILDING CODES AND WOULD BE
ISSUED A PERMIT.



STREET

Q & A

What are your thoughts on ADU/ACU's?

- If 'no thanks' or 'I'm not sure' is your answer – why?
- How can we address your 'why' through zoning regulation?

Would you like to be notified if your neighbor wanted to construct an ADU/ACU?

- Could be addressed through Conditional Use Permit

Anyone opposed to the VRBO & AirBNB use?

- If the owner lives on site, is it an issue?

What else are we missing?

- An issue of only wanting single-family use in neighborhoods?
- Setbacks? Lot coverage?
- Maybe you're all for it!

US Census Bureau

August 12, 2021 Data Release Summary

City of Stevens Point, WI



Department of
Community Development



To the Mayor, Common Council, Plan Commission, and Members of the Public,

On August 12, 2021, some much-anticipated 2020 US Census data was released. The data provided to US communities, counties, and states provided critical population, race/ethnicity, age, sex, and housing information, among others. At the federal and state level, this US Census information is utilized for redistricting and additional funding opportunities. Locally, city staff will use the data for business/economic development and retention, urban & infrastructure planning, future staffing needs, among others. Each decennial census has the goal of counting everyone once and in the right place, based on April 1 of each decennial. Below are some highlights from the data released.

- The City of Stevens Point saw a 3.9 percent decrease in our population from 26,717 to 25,666. This is a decline of 1,051 individuals from the 2010 Census.
- Stevens Point is more diverse compared to 2010. Persons who identify as white decreased 10.3 percent between 2010 and 2020. Comparatively, persons who identify as black, Hispanic or Latino, or two or more races increased and drove the increase in diversity in the City.
- Stevens Point's owner-occupied housing increased slightly from 49 percent to 51.3 percent.
- Vacant housing units decreased 1.1 percent.

In short, the US Census information provided can describe Stevens Point's 2020 population totals as stable and more diverse than 2010.

Special thanks to City Clerk Kari Yenter, GIS Manager Lindsay McClintock, and Portage County Planning Director Jeff Schuler in assisting staff in providing additional information.

This report will expound upon the information and trends to better understand the changes in the City's demographics. Please feel free to reach out to me at 715-346-1567 or by email at rkernosky@stevenspont.com to further discuss.

Thank you,

A handwritten signature in black ink, appearing to read "RKernosky".

Ryan J. Kernosky, MPA
Director of Community Development
City of Stevens Point, WI

Introduction

The US Census Bureau released critical information for the purposes of redistricting in mid-August 2021. This data release was only population, race/ethnicity, vacant/occupied housing, people living in group quarters from the 2020 US Census. Most data that currently exists outside of those few data points is likely from the 2015-2019 American Community Survey (ACS) data. Over the next several months, the US Census Bureau will continue to release information on the full US Census count. This report is to outline the data provided by the US Census on August 12, 2021.

Population

Stevens Point's population arguably decreased; however, staff considers the change to show a more stable community. The 2020 Census placed the City's total population at 25,666, a reduction in population of 1,051 from the 2010 Census of 26,717. The Village of Plover saw an increase in population to 13,519, up 1,396 from the 2010 Census of 12,123. Overall Portage County saw a marginal .5 percent increase in population to 70,377, an increase of 358 from the 2010 Census of 70,019. Portage County's stagnant, but stable population indicates that it is safe to assume that most the City's population changes in the urban core can be pointed to two main reasons:

Municipality	2010 Census	2020 Census	Difference
C. Stevens Point	26717	25666	-1051
V. Plover	12123	13519	1396
V. Whiting	1724	1601	-123
V. Park Ridge	491	530	39
T. Hull	5346	5287	-59
Portage County	70019	70377	358

Figure 1 Urban Core Population Changes

Source: US Census Data

1) *Declining enrollment at UW-Stevens Point plays the largest role in the City's population decline.* As part of the 2020 Census and the COVID-19 pandemic, colleges and universities throughout the United States were asked to provide basic enrollment data to the Census Bureau to identify where students *would be* staying on April 1, 2020. [UW-Stevens Point's enrollment has declined from 9,209 in fall 2009 to 7,307 in fall 2019](#), a decrease of 1,902 students. The information from UW-Stevens Point is not necessarily included in the Census, i.e., there is not a one-for-one UW-Stevens Point enrollment decline to City of Stevens Point population decline. A loss of 1,902 students that has historically contributed to the population of the City, which is reflected in the population decrease.

Breaking down the change in population by each existing alder district is included on the table to the right further provides evidence of the impact on the student population on the City's overall population. Districts with heavy student population (residence halls, areas of high student housing density) saw a significant shift in the neighborhood population between 2010 and 2020, which can further indicate that the City's population shift can be correlated with the UW-Stevens Point's enrollment levels.

Alder District	2010 Population	2020 Population	Change
D1	2403	2138	-265
D2	2447	2382	-65
D3	2456	2009	-447
D4	2392	2354	-38
D5	2494	2317	-177
D6	2476	2497	21
D7	2367	2424	57
D8	2460	2576	116
D9	2324	2264	-60
D10	2425	2433	8
D11	2460	2272	-188
Districts with heavy student populations			

Figure 2: Population Changes in Aldermanic Districts

Source: Municipal Redistricting Data

2) *The impact of migration of individuals/families from the City to the Village of Plover.* This is likely due to the additional new single- and multi-family housing that has been constructed in the Village over the last several years, and the City trailing that development through the latter part of 2019. While the City kept pace with the Village for single-family development through 2014, the major single-family development changes between the City and the Village occurred in 2015. The former Tree Acres Golf Course area, owned by Portage County due to tax forfeiture, began selling land well-under market value and with extensive incentives, via Tax Increment Finance, offered to developers by the Village for single-family housing development. This style of incentive is an economic development policy that the City has intentionally avoided and should continue to avoid as the policy makers and city staff changes over the next decade. Portage County's population increase was spread evenly between what's commonly referred to as the 'Urban Core' (C. Stevens Point, V. Plover, V. Whiting, V. Park Ridge, T. Hull) and the rural townships and villages. The Urban Core saw a 202-person population increase, while the rural townships and villages saw a 156-person population increase. A further breakdown of this data can be found in Appendix A.

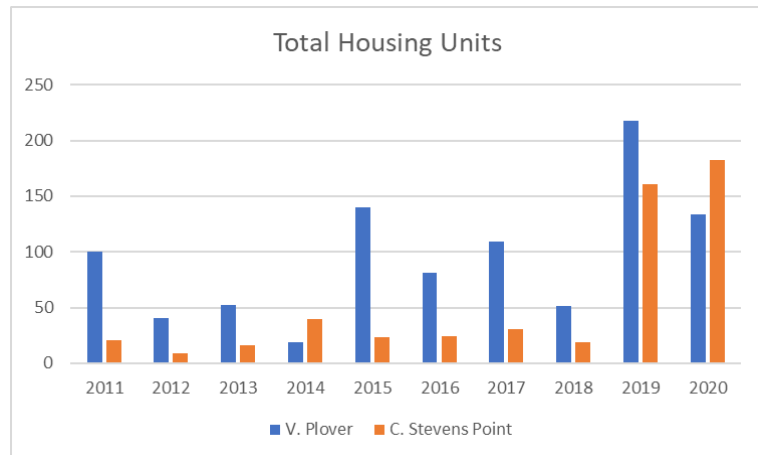


Figure 2 Total housing units per year | Stevens Point & Plover
Source: Municipal Building Permit Data

Stevens Point	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	Total
Single-Family	13	9	14	18	17	20	9	13	13	13	139
Two-Family*	0	0	2	14	6	4	0	6	4	10	46
Multi-Family*	8	0	0	8	0	0	22	0	144	159	341
Total Units/Year	21	9	16	40	23	24	31	19	161	182	526
Plover	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	Total
Single-Family	8	9	14	19	30	25	37	43	42	36	263
Two-Family*	0	0	6	0	6	8	6	8	16	8	58
Multi-Family*	92	32	32	0	104	48	66	0	160	90	624
Total Units/Year	100	41	52	19	140	81	109	51	218	134	945

Figure 3 Units constructed per year
Source: Municipal Building Permit Data

By 2030, several housing developments will have been constructed and the occupancy will likely be stable (projects like the [North Side Yard](#), [The Grove](#), the [Point Motel redevelopment](#), and several others currently in the works). These projects will continue to provide high-quality new housing opportunities within the City of Stevens Point.

Although on paper the City's population decrease looks concerning, city staff believes that the change shows a more stable population from 2010 through 2020. The most recent Census data information provided does not include the age/sex breakdown, making future predictions based on natural attrition difficult. This information is likely to be released in the coming months.

Race

As Stevens Point's population stabilized, our community also became more diverse. The City's White population decreased the most at 2,529 (-10.32 percent), while the Black and Two or More Race population increased by 436 and 866, respectively. The Hispanic or Latino ethnicity also increased substantially from 696 to 1,047 (+50.43 percent).

Total Population by Race/Ethnicity						
	2010		2020		Change from '10-'20	% Change
	Population	% Population	Population	% Population		
Total Population	26717		25666		-1051	-3.93
White	24499	91.70	21970	85.60	-2529	-10.32
Black	246	0.92	682	2.66	436	177.24
American Indian	116	0.43	158	0.62	42	36.21
Asian	1252	4.69	1232	4.80	-20	-1.60
Pacific Islander	9	0.03	10	0.04	1	11.11
Other	192	0.72	345	1.34	153	79.69
Two or More	403	1.51	1269	4.94	866	214.89
Hispanic or Latino	696	2.61	1047	4.08	351	50.43

Figure 3: Population by Race/Ethnicity

Source: US Census Data

Housing

Although the City's population declined, our occupied housing increased. Additionally, vacant housing decreased between 2010 and 2020. The chart below further expounds on the information:

	2020		2010		% Change
	Number	Percentage	Number	Percentage	
Total Housing Units	11386		11220		1.48
Occupied	10771	94.60	10598	94.46	1.63
Vacant	615	5.40	622	5.54	-1.13

Figure 4: Occupied & Unoccupied Housing Units

Source: US Census Data

Population in Group Quarters

Group Quarters is the U.S. Census Bureau's special set of operations for counting people who live or stay in the estimated 250,000 group quarters facilities, such as correctional facilities for adults, college/university student housing, nursing/skilled nursing facilities, group homes, residential treatment centers, and military barracks. The Census Bureau works directly with group quarters administrators in responding to the 2020 Census on behalf of residents to ensure a complete and accurate census count¹.

As the County Seat for Portage County, and as the home to UW-Stevens Point, the City of Stevens Point has several populations in group quarters within our community. As part of the most recent data release, it was included and is outlined in the table below.

		2020	
Total Population in Group Quarters		2914	
Institutionalized Populations		93	
	Correctional Facilities - Adults	40	
	Correctional Facilities - Juveniles	0	
	Nuring Facilities/Skilled Nursing	53	
	Other	0	
Noninstitutionalized Populations		2821	
	College/University Housing	2595	
	Military Quarters	0	
	Other	226	

¹ Bureau, U. S. C. (2020, August 12). *2020 census begins in-person count of people living in group quarters*. The United States Census Bureau. <https://www.census.gov/newsroom/press-releases/2020/2020-group-quarters.html>.

Appendix A

GEOCODE	BASENAME	NAME	POP 2010	POP 2020	Pop change	Percent pop change
55097	Portage	Portage County	70,019	70,377	358	0.51%
5509700725	Alban	Alban town	885	863	-22	-2.49%
5509701400	Almond	Almond village	448	424	-24	-5.36%
5509701425	Almond	Almond town	680	625	-55	-8.09%
5509701750	Amherst	Amherst village	1,035	1,117	82	7.92%
5509701775	Amherst	Amherst town	1,325	1,402	77	5.81%
5509701800	Amherst Junction	Amherst Junction village	377	383	6	1.59%
5509706475	Belmont	Belmont town	616	623	7	1.14%
5509710925	Buena Vista	Buena Vista town	1,198	1,145	-53	-4.42%
5509712725	Carson	Carson town	1,305	1,374	69	5.29%
5509719975	Dewey	Dewey town	932	962	30	3.22%
5509722450	Eau Pleine	Eau Pleine town	908	1,063	155	17.07%
5509730350	Grant	Grant town	1,906	1,842	-64	-3.36%
5509736350	Hull	Hull town	5,346	5,287	-59	-1.10%
5509738650	Junction City	Junction City village	439	420	-19	-4.33%
5509742225	Lanark	Lanark town	1,527	1,535	8	0.52%
5509744800	Linwood	Linwood town	1,121	1,070	-51	-4.55%
5509751875	Milladore	Milladore village	0	0	0	
5509756000	Nelsonville	Nelsonville village	155	158	3	1.94%
5509756850	New Hope	New Hope town	718	711	-7	-0.97%
5509761325	Park Ridge	Park Ridge village	491	530	39	7.94%
5509762825	Pine Grove	Pine Grove town	937	873	-64	-6.83%
5509763525	Plover	Plover village	12,123	13,519	1,396	11.52%
5509763550	Plover	Plover town	1,701	1,565	-136	-8.00%
5509769575	Rosholt	Rosholt village	506	478	-28	-5.53%
5509772850	Sharon	Sharon town	1,982	2,123	141	7.11%
5509777200	Stevens Point	Stevens Point city	26,717	25,666	-1,051	-3.93%
5509777537	Stockton	Stockton town	2,917	3,018	101	3.46%
5509786975	Whiting	Whiting village	1,724	1,601	-123	-7.13%

Total Population Change	Region/Area
136	Rural Township Increases
20	Rural Villages Increases
202	Urban Area Increases
358	Total Population Change

Community Development Report - July 2021

Construction Report

New Construction	# of Permits	Location	Declared Valuation	Fees
Single Family	-	-	-	-
Two-Family	-	-	-	-
Multi-Family	-	-	-	-
Commercial/Industrial	1	Disher Electric Office Addition 4912 County Rd HH	\$170,000.00	\$795.00
Additions or Alterations	# of Permits	Declared Valuation		Fees
Residential	156	\$1,151,922.64		\$10,438.09
Commercial	32	\$849,286.00		\$7,393.63

Monthly Permits	Monthly Valuation	Monthly Fees	YTD Permits	YTD Valuation	YTD Fees
189	\$2,171,208.64	\$18,626.72	894	\$22,628,960.10	\$140,770.35

2020	834	\$91,299,520.51	\$233,006.13
2019	815	\$69,481,334.40	\$289,136.56
2018	750	\$33,874,607.93	\$242,169.67

Violation Report

New Code Cases	
Abandoned Vehicle on Property	5
Construction Work Without Permits	3
Debris on Property	47
Exterior Violations on House	2
Garbage - Bulk Waste at Curb Early	0
Illegal Use of Occupancy	1
Improper Signage	0
Interior Housing Violations	0
Snow & Ice Removal - Sidewalk	0
Tall Grass or Noxious Weeds	22
Trash Containers Improperly Stored	4
Trash/Litter	0
Unsanitary/Unsafe Conditions	0
Vacant Building/Home	0
Vehicle Parked on Grass	7
Vision Obstruction in Roadway or Intersection	0
Zoning Violations	5
Total Violations / Total Service Fees Billed	96 \$2,950

Community Development Report - August 2021

Construction Report

New Construction	# of Permits	Location	Declared Valuation	Fees
Single Family	-	-	-	-
Two-Family	-	-	-	-
Multi-Family	-	-	-	-
Commercial/Industrial	1	SPAPSD Transportation Building Addition (BLD) 3300 Water St	\$264,200.00	\$258.20
	2	First State Bank (BLD/PLB) 5500 Carrie Frost Dr	\$3,749,032.00	\$2,862.10
Additions or Alterations	# of Permits	Declared Valuation		Fees
Residential	90	\$797,490.49		\$6,272.03
Commercial	42	\$1,535,440.76		\$15,051.43

Monthly Permits	Monthly Valuation	Monthly Fees	YTD Permits	YTD Valuation	YTD Fees
135	\$6,346,163.25	\$24,443.76	1029	\$28,975,123.35	\$165,214.11
			2020	998	\$92,927,196.56
			2019	985	\$86,436,559.73
			2018	877	\$38,547,170.59
					\$249,550.43
					\$348,214.38
					\$265,728.76

Violation Report

New Code Cases		
Abandoned Vehicle on Property	1	
Construction Work Without Permits	3	
Debris on Property	88	
Exterior Violations on House	5	
Garbage - Bulk Waste at Curb Early	1	
Illegal Use of Occupancy	0	
Improper Signage	0	
Infestation	2	
Interior Housing Violations	4	
Snow & Ice Removal - Sidewalk	0	
Tall Grass or Noxious Weeds	50	
Trash Containers Improperly Stored	1	
Trash/Litter	2	
Unsanitary/Unsafe Conditions	0	
Vacant Building/Home	0	
Vehicle Parked on Grass	32	
Vision Obstruction in Roadway or Intersection	0	
Zoning Violations	0	
Total Violations / Total Service Fees Billed	189	\$3,200



MEMORANDUM

To: Plan Commission

From: Ryan Kernosky, Director of Community Development

Date: September 7, 2021

RE: **Monthly Director's Report**

Development Updates:

Point Motel/Lokre Development: The Point Motel is vacant. The developer is currently finishing environmental remediation (asbestos) and will be razing the structure in the coming weeks.

Northside Yard (1017 Third St): Framing is under construction for building two (SE corner of the building). The first disbursement of the CDI grant has occurred, second disbursement will occur in the coming months.

Sentry Insurance Boutique Hotel: This project is complete.

Delta Dental Corporate Headquarters: The building is framed out. HVAC and electrical work is currently under construction.

Lineage Logistics: Waiting final inspection of the office, temporary occupancy was issued for the warehouse portion of the building.

Wanta Live/Work: No additional information.

Doolittle Drive Duplex Development: Under Construction.

Convent Development: Developer was awarded ~\$1.4M in WHEDA Housing Tax Credits for the first phase of the project (convent and three townhomes). City staff is working with developer on the CDBG application for ~\$1M in assistance in purchasing the property.

Fox Theatre: Demo permit has been issued for interior demo. The Marquee has been removed.

Marshfield Clinic Addition: Framing is complete. Project is ongoing.

Special Projects Updates:

Targeted Area Master Plan – Downtown: City staff has worked with Vandewalle on an alternative plan to the WPS Superfund site. While the plan has been completed for a few months, we've been hopeful that we are going to be able to present the information in-person. Additionally, staff has provided the amended plan to Verso for their review of compliance with FIRC regulations.

Strategic Planning: The City's Strategic Planning Core Team and the consultant continue to work on the makings of this document. While the plan is nearly ready for public consumption, Plan Commission and the Common Council be the next groups to review the document for final comments before final adoption. Staff is working through a possible joint meeting.

Downtown Business Improvement District: Staff had been working on this project with the Downtown Business Alliance. At this time, this project is at a standstill.

City Comprehensive Plan & Zoning Code Update: The City's Comprehensive Plan is complete, but unadopted. City staff has asked Portage County Planning & Zoning to review the document for consistency. Once the City's Strategic Plan is completed, staff will work to compare the City's Comprehensive Plan with the City's Strategic Plan to ensure that those two documents are working together before final adoption. Once those two documents are finalized, staff will begin working on the Zoning Code Update to codify the recommendations made in the aforementioned planning documents.

WEDC Idle Sites Grant: MSTC and City staff have submitted a grant for the proposed Advanced Manufacturing Training Facility off of Coye Drive. The grant could award up to \$250,000 to the City and MSTC for site preparation and construction.

Housing Taskforce: This committee has been formed. Conversations and meeting should be occurring shortly.

Public Policy Updates:

Accessory Dwelling Unit Code Amendment: The Council has opted to table a decision on the ADU/ACU code update to gather additional input. City staff has asked Alders to host listening sessions to gather additional feedback, which should occur this summer.

Principal Structure Housing Size Minimums: Staff has researched what other communities have as housing minimums in similar zoning codes. We will likely have a document for consideration/discussion in a 2021 Plan Commission meeting.

Economic Development Updates:

2021 Construction Numbers: State-wide it appears that 2021 commercial/industrial construction will be significantly down from 2019/2020. Almost all of the slow-down indicates this is due to the COVID pandemic and the uncertainties of the future of the economy.

Stevens Point Home Sales: Through July 2021 year over year median home sale prices have been ~\$218,000. The housing market continues to be competitive due to the lack of inventory (down 10% year over year). 52% of homes sold year over year have sold above the listing price. There as been some indication that demand is being

reduced due to the competitive pricing and low inventory, which may indicate a price-correction for housing in sight.

Other Updates:

Edgewater Manor Relocation: There are 16 residents remaining at Edgewater who do not have relocation plans at this time. City staff has issued a formal notice of closure of May 3, 2022.